Pursuant to Governor Newsom's Executive Order N-29-20, members of the PROS Commission and staff will participate in this meeting via a teleconference. Members of the public can submit written comments to the Board Secretary at boardcomment@cambriacsd.org.



# Parks, Recreation and Open Space Commission (PROS)

REGULAR MEETING Tuesday, October 5, 2021 - 10:00 AM

#### **AGENDA**

#### Please click the link below to join the webinar:

https://zoom.us/j/99238331673?pwd=dmVjOHhjZjdKblRkZ2ZHMHhtUFJHZz09

Passcode: 590171 Or iPhone one-tap:

US: +16699006833,,99238331673# or +13462487799,,99238331673#

#### Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 669 900 6833 or +1 346 248 7799 or +1 253 215 8782 or +1 301 715 8592 or +1 312 626 6799 or +1 929 205 6099

Webinar ID: 992 3833 1673

International numbers available: https://zoom.us/u/acMsa5ygGP

#### 1. OPENING

- A. CALL TO ORDER
- B. ESTABLISH QUORUM
- C. CHAIR REPORT
- D. COMMITTEE MEMBER COMMUNICATIONS

Any Committee Member may make an announcement, report briefly on his or her activities, or ask a question for clarification.

#### 2. EX - OFFICIO REPORTS

- A. Friends of the Fiscalini Ranch Report
- 3. PUBLIC COMMENT NOT ON THE AGENDA

Members of the public may now address the Commission on any item of interest within the jurisdiction of the Commission but not on its agenda today. Future agenda items can be suggested at this time. In compliance with the Brown Act, the Commission cannot discuss or act on items not on the agenda. Each speaker has up to three minutes.

#### 4. FACILITIES AND RESOURCES MANAGER REPORT

#### 5. CONSENT AGENDA (Estimated time: 15 Minutes)

A. Consideration to Approve the Minutes from the Regular Meeting Held on September 7, 2021

#### 6. REGULAR BUSINESS

- A. Receive Update on the Cambria Skatepark
- B. Receive Update on East Ranch Restroom Project Attachments Added Late
- C. Discuss and Consider Requesting that the CCSD Board of Directors Appoint a Member of the Skate Park Committee to Serve as an Ex Officio Member of the PROS Commission
- D. Discussion and Consideration of PROS Master Plan

#### 7. FUTURE AGENDAITEMS

#### 8. ADJOURN

# Parks, Recreation and Open Space Commission

(PROS) REGULAR MEETING

Tuesday, September 7, 2021 - 10:00 AM **MINUTES** 

#### 1. OPENING

#### A. CALL TO ORDER

Chairman Kniffen called the meeting to order at 10:00 a.m.

# B. ESTABLISH QUORUM

A quorum was established.

Present – Commissioners Johansson, Atencio, Kniffen, Renshaw, Bahringer and Lord. Cooper was absent.

Staff Present – General Manager John Weigold, Facilities and Resources Supervisor Carlos Mendoza, Board Secretary Ossana Terterian was absent.

- C. CHAIR REPORT Commissioner Kniffen expressed in no uncertain terms his unhappiness with the porta potty on the East Ranch, his frustration at getting things accomplished for the Skate Park, his general unhappiness with being Chair and not liking to be the one to report to the board.
- D. COMMITTEE MEMBER COMMUNICATIONS

# 2. EX - OFFICIO REPORTS

A. Friends of the Fiscalini Ranch Report: Kitty Connolly, Director of FFRP, report was as follows:

**Docent Walks** 

Aug 14: Bluff and Forest

Sept 11: Bluff

Sept 25: Forest and Prairie

Sept 25: Astronomy Oct 30: Astronomy

Please check website for more information.

Pop Up /sale was highly successful Sept 4

# **Linking Boardwalk**

Engineers at Wallace Group will produce an alignment study in two weeks

Other projects that will be accomplished or already completed

Replace damaged fence at north bluff entrance Install puncheon at Dolphin Trail crossing of seasonal creek

Install bike bells at trail heads

A question was raised about the legality of the sale at the South End of the Bluff Trail. The answer was: It was not held on Ranch property.

# **PUBLIC COMMENT NOT ON THE AGENDA: None**

# 3. FACILITIES AND RESOURCES MANAGER REPORT:

Storm Recovery projects since January have taken up much of Carlos and his crews time, 8 months, and

they are still not 'inished. Some of the projects have been the following:

The office of Carlos and work station facility has had a make over. Mud and debris such as logs have been removed. A base was laid out and compacted The facility was power washed. The facility was completely rebuilt which involved dry wall, floors, cabinets remade, electrical, painting etc. etc. The mud was removed at the public restrooms and they were power washed. Bridge on the East Ranch which had been washed out was replaced. 80 trees near houses that were dangerous were taken down and chipped. Other trees on the Ranch roughly between Victoria Way and Marlborough trail that were down or in danger of falling were cut and chipped. Crews, were thanks to a grant from Fire Safe Council. Of course before this could happen, preparation work had to be done, such as marking trees to retain for monarch habitat and dead trees to support other animals. A biological survey looking for bird nests, woodcut nests and signs of animal burrows on the site had to be done. None were found. Santa Rosa trail repaired. Carlos estimates they are 80% finished. He is very proud that he and his crew met the challenge and were successful.

A question was brought up about the porta potty on the East Ranch. It was donated, it is totally free, and the cleaning is done by volunteers. Bathrooms are allowed on the East Ranch.

Carlos and his crew saved the district between \$275-\$300,000 by doing the work in house. The Governor has approved, The California Emergency Services Act which the district can apply for and receive money for the \$400,000 worth of damages that the District received during the storm. Well earned congratulations were given to Carlos for the great job he and his crew accomplished.

# 4. CONSENT AGENDA (Estimated time: 15 Minutes)

A. Consideration to Approve the Minutes from the Regular Meeting Held on August 4, 2021 Commissioner Bahringer moved to approve the August 4, 2021 regular meeting minutes. Commissioner Lord seconded the motion. All approved.

#### 5. REGULAR BUSINESS

A. Discuss and Consider Revisions to the 2021 PROS Goals and Objectives and the 2020 Project Priority List

A lengthy discussion was held. It ended with a motion made by Commissioner Atencio and seconded by Commissioner Johansson that our number one priority is the Skate Park.

B. Receive Update on the Cambria Skatepark
An update on the Skatepark was then discussed. The
General Manager, John Weigold, reported that he
had heard from Spohn Ranch that morning and they
are studying the Geo technical report. Monte Soto
from Civil Designs is reviewing the initial design
concept and the Storm Water Analysis. He will be
holding a virtual meeting with the County. All this is
being done to see if this site if feasible for building
the Skate Park.

The public then weighed in. Chelsie Foster, Elizabeth Bettenhausen and Tina Dickason. Comments: Generally, they were concerned about the time it has taken to proceed with the Skate Park. They were also concerned about the lack of communication about the project.

- C. Receive Update on East Ranch Restroom
  An update on the East Ranch Restroom was then
  held. The recommendation from last month that we
  go with the most expensive option will be discussed
  at this coming CCSD board meeting. A reminder, the
  design process was paid for by a separate grant from
  the County.
- D. Discuss and Consider Revising the Master Plan and Hiring a Consultant A very lengthy discussion was then held on the revising of the Master plan of 1994 and the hiring of a consultant to do the revision. A motion was 'inally made by Commissioner Johansson and seconded by Commissioner Atencio. It was as follows:

"I move that we hire a consultant to update the Master plan, that the consultant review subsequent documents that relate to the plan eg. Management plan and that PROS will be in the advisory position in this process."

It passed with one dissent made by Steve Kniffen.

## 6. FUTURE AGENDA ITEMS

Chair Commissioner Kniffen asked for any future agenda items. Agenda items are:
Do we need to appoint an ad hoc member from the Skate park committee to be on PROS?
Continue with Skate park and bathroom updates.

# 7. ADJOURN

Chair Commissioner Kniffen adjourned the meeting at 12: P.m.



RECYCLING ORDINANCES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION AND AMENDMENTS OF THE CALIFORNIA BUILDING CODE. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE APPLICABLE CITY/COUNTY STANDARDS AND CALTRANS STANDARD SPECIFICATIONS, LATEST ADOPTED EDITION AND AMENDMENTS. IN THE EVENT THAT THERE IS A CONFLICT BETWEEN CODES, THE CONTRACTOR WILL NOTIFY THE CIVIL ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING:
- CHAPTER 18 AND APPENDIX J OF THE 2019 CBC
- SAN LUIS OBISPO COUNTY TITLE 19, 22, AND 23 XXXXXX XXXXXXXXXX XXXXXXX XXXXXXX
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING AND DISPOSAL OF THE PROPOSED WORK AREA. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIAL LEGALLY AND IS RESPONSIBLE FOR COMPLYING WITH LOCAL
- 3. NO FILL SHALL BE PLACED ON THE EXISTING GROUND SURFACE UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL, DELETERIOUS MATERIAL AND SCARIFIED AND COMPACTED PER THE GEOTECHNICAL
- 4. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN TWO FEET HORIZONTAL TO ONE FOOT VERTICAL, 2:1.
- FILLS SHALL BE COMPACTED TO THE MINIMUM PERCENTAGE OF MAXIMUM DRY DENSITY AS SPECIFIED IN THE PROJECT SOILS REPORT AND CERTIFIED BY THE GEOTECHNICAL ENGINEER.
- 6. ALL EXISTING FILLS SHALL BE BE APPROVED BY THE GEOTECHNICAL ENGINEER BEFORE ANY ADDITIONAL FILLS ARE
- ALL EXPOSED SLOPES SHALL BE PLANTED PER THE PROJECT LANDSCAPE PLANS AND IRRIGATED UNTIL GROUND COVER IS ESTABLISHED.
- THE STOCKPILING OF EXCESS MATERIAL IS SUBJECT TO THE APPROVAL OF THE AGENCY.
- 9. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
- 10. ALL CUT SLOPES SHALL BE INVESTIGATED BY THE GEOTECHNICAL ENGINEER DURING GRADING TO DETERMINE IF ANY SLOPE STABILITY PROBLEMS EXIST. SHOULD EXCAVATION DISCLOSE ANY GEOTECHNICAL HAZARDS OR POTENTIAL GEOTECHNICAL HAZARDS THE GEOTECHNICAL ENGINEER SHALL RECOMMEND NECESSARY TREATMENT TO THE CONTRACTOR.
- 11. THE FINAL COMPACTION REPORT AND APPROVAL FROM THE GEOTECHNICAL ENGINEER SHALL CONTAIN DETAILS REGARDING THE TYPE OF FIELD TESTING PERFORMED INCLUDING THE METHOD OF OBTAINING THE IN-PLACE DENSITY WHETHER SAND CONE NUCLEAR GALIGE OR DRIVERING SHALL BE NOTED FOR EACH TEST SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- 12. SANITARY FACILITIES SHALL BE MAINTAINED ON SITE THROUGHOUT THE DURATION OF CONSTRUCTION.
- 13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF AND PROTECT ALL EXISTING UTILITIES AND TO ENSURE THAT SERVICE IS NOT DISRUPTED TO EXISTING FACILITIES.
- 14. ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION, ESPECIALLY DURING STORM CONDITIONS AND APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT EXISTING STRUCTURES AND ADJACENT PROPERTIES DURING THE CONSTRUCTION PROJECT. IN ALL CASES, THE CONTRACTOR AND/OR OWNER SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING EXISTING DRAINAGE PATTERNS.
- 15. ALL PLANTERS ADJACENT TO THE FOUNDATIONS SHALL BE SEALED ALONG THE SIDE OF THE FOUNDATION FOOTING AND EXTENDED UNDER THE PLANTER A MINIMUM OF 12" TO PREVENT MOISTURE FROM REACHING THE FOUNDATION SUB-GRADE SOILS.
- 16. EXPORTED MATERIAL SHALL BE TAKEN TO A LEGAL DUMP SITE OR PERMITTED RECEIVING SITE APPROVED BY THE LOCAL AGENCY HAVING JURISDICTION
- 17. PERMISSION IS REQUIRED FROM THE ADJACENT PROPERTY OWNER WHENEVER WORK IS PROPOSED OR NECESSARY ACROSS THE PROJECT'S PROPERTY LINES.
- 18. ANY DIRT, ROCK, DEBRIS OR CONSTRUCTION MATERIAL THAT IS TRACKED OR DROPPED WITHIN THE PUBLIC RIGHT OF WAY DURING THE TRANSPORTATION OF THAT MATERIAL OR EQUIPMENT ASSOCIATED WITH THE PROJECT SHALL BE CLEANED OR REMOVED DAILY.
- 19. DIRT ACCESS RAMP OVER CURBS AND GUTTERS TO THE CONSTRUCTION SITE ARE PROHIBITED. WHEN NECESSARY FOR ENTRANCE TO SUCH CONSTRUCTION SITES, TEMPORARY ASPHALT RAMPS WITH A MINIMUM OF A 3" DIAMETER PIPE SHALL BE CONSTRUCTED TO CONVEY GUTTER DRAINAGE.
- 20. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND OBTAINING REQUIRED PERMITS FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (OSHA).
- 21. PROPOSED REVISIONS TO THE GRADING PLAN SHALL BE DRAWN IN RED PENCIL ON BOND COPIES OF THE APPROVED PLANS. THESE COPIES SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR APPROVAL. AFTER APPROVAL IS GIVEN, THE OWNER MAY REQUIRE AS-BUILT OF THE PLANS.
- 22. RULE 403. AIR QUALITY CONTROL MUST BE IMPLEMENTED DURING CONSTRUCTION: 22.1. A PERSON SHALL NOT CAUSE OR ALLOW THE EMISSIONS OF FUGITIVE DUST FROM ANY TRANSPORT HANDLING, CONSTRUCTION OR STORAGE ACTIVITY SO THAT THE PRESENCE OF SUCH DUST REMAINS VISIBLE IN THE ATMOSPHERE BEYOND THE PROPERTY LINE OF THE EMISSION SOURCE. (DOES NOT APPLY TO
- EXCLUSION SHALL NOT APPLY TO INDUSTRIAL OR COMMERCIAL FACILITIES). 22.2. A PERSON SHALL TAKE EVERY RESPONSIBLE PRECAUTION TO MINIMIZE FUGITIVE DUST EMISSIONS FROM WRECKING, EXCAVATION, GRADING, CLEARING OF LAND AND SOLID WASTE DISPOSAL OPERATIONS.

EMISSION EMANATING FROM UNPAVED ROADWAYS OPEN TO PUBLIC TRAVEL OR FARM ROADS. THIS

- 22.3. A PERSON SHALL NOT CAUSE OR ALLOW PARTICULATE MATTER TO EXCEED 100 MICROGRAMS PER CUBIC METER WHEN DETERMINED AS THE DIFFERENCE BETWEEN UPWIND AND DOWNWIND SAMPLES COLLECTED ON HIGH VOLUME SAMPLERS AT THE PROPERTY LINE FOR A MINIMUM OF FIVE HOURS.
- 22.4. A PERSON SHALL TAKE EVERY REASONABLE PRECAUTION TO PREVENT VISIBLE PARTICULATE MATTER FROM BEING DEPOSITED UPON PUBLIC ROADWAYS. PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE REMOVAL OF PARTICULATE MATTER FROM EQUIPMENT PRIOR TO THE MOVEMENT ON PAVED STREETS ONTO WHICH SUCH MATERIAL HAS BEEN DEPOSITED.
- 22.5. SUBSECTIONS (22.1) AND (22.2) SHALL NOT BE APPLICABLE WHEN THE WIND SPEED INSTANTANEOUSLY EXCEEDS 40 KILOMETERS (25 MILES) PER HOUR. OR WHEN THE AVERAGE WIND SPEED IS GREATER THAN 25 KILOMETERS (15 MILES) PER HOUR. THE AVERAGE WIND SPEED DETERMINATIONS SHALL BE ON A 15 MINUTE AVERAGE AT THE NEAREST OFFICIAL AIR-MONITORING STATION OR BY A WIND INSTRUMENT LOCATED AND
- 23. CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM. MONDAY THROUGH FRIDAY AND BETWEEN THE HOURS OF 9:00 AM AND 6:00 PM SATURDAYS, UNLESS OTHERWISE
- 24. CONTRACTOR SHALL USE LOW EMISSION MOBILE CONSTRUCTION EQUIPMENT DURING ALL SITE PREPARATION, GRADING AND CONSTRUCTION ACTIVITIES. WHERE FEASIBLE.
- 25. CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION ENGINES TUNED CONSISTENT WITH MANUFACTURER'S SPECIFICATIONS DURING ALL SITE PREPARATION, GRADING AND CONSTRUCTION ACTIVITIES.
- 26. CONTRACTOR SHALL USE LOW SULFUR FUEL FOR STATIONARY CONSTRUCTION EQUIPMENT AS REQUIRED BY AQMD RULE 431.1 AND 431.2 AND SHALL USE EXISTING POWER SOURCES AND CLEAN FUEL GENERATORS WHEN POSSIBLE AS FEASIBLE DURING ALL SITE PREPARATION, GRADING AND CONSTRUCTION ACTIVITIES.
- 27. CONSTRUCTION PARKING SHALL BE ONSITE. TRAFFIC CONTROL AND ACCESS SHALL BE IN ACCORDANCE WITH THE AGENCY HAVING JURISDICTION OVER THE PROJECT.
- 28. THE SPEED OF CONSTRUCTION VEHICLES ON-SITE SHALL BE LIMITED TO 15 MILES PER HOUR.

BASED AS EARLY AS POSSIBLE TO MINIMIZE DIRT TRACKING ONTO THE PUBLIC RIGHT OF WAY.

- 29. TRUCKS AND LARGE CONSTRUCTION VEHICLES SHALL OBTAIN APPROVED ROUTES FROM THE AGENCY'S PUBLIC
- 30. THE CONTRACTOR SHALL CONTROL DUST IN AREAS USED FOR OFF-PAVEMENT PARKING, MATERIAL LAYDOWN AREAS OR THOSE AREAS AWAITING FUTURE CONSTRUCTION. FREQUENTLY ACCESSED AREAS SHALL BE PAVED OR
- 31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING MEASURE:

TRANSPORTATION.

- 31.1. CESSATION OF ACTIVITIES DURING A STAGE-2 SMOG EPISODE. CALL 800-242-4022 FOR THE DAILY SMOG FORFCAST
- 31.2. TRUCK ROUTES AND SCHEDULES FOR THE RECEIPT OF MATERIALS SHALL BE COORDINATED WITH THE APPROPRIATE AGENCIES. 31.3. WHERE FEASIBLE, ON-ROAD AND OFF-ROAD VEHICLES AND EQUIPMENT SHALL BE TURNED OFF AND SUBSEQUENTLY RESTARTED IF THE ANTICIPATED DURATION OF IDLING IS EXPECTED TO EXCEED FIVE
- 32. THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING HIGH WIND DUST CONTROL MEASURE WHEN INSTANTANEOUS WIND SPEEDS EXCEED 25 MILES PER HOUR: 32.1. TERMINATION / MODIFICATION OF SCRAPERS, GRADERS OR DOZERS ON UNPAVED SURFACES UNTIL WINDS
- 32.2. APPLICATION OF WATER AS NEEDED TO ANY UNPAVED SURFACE WITH VEHICLE OR EQUIPMENT
- OPERATIONS. 32.3. APPLICATION OF WATER OR OTHER DUST CONTROL MATERIAL TO ANY PREVIOUSLY GRADED SURFACE IF DUST EMANATION IS VISIBLE FROM SUCH A SURFACE.
- 33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EQUIPMENT TO PREVENT VISIBLE SOOT FROM REDUCING LIGHT TRANSMISSION THROUGH THE EXHAUST STACK BY MORE THAN 20 PERCENT FOR MORE THAN
- THREE MINUTES PER HOUR AND USE LOW SULFUR FUEL AS REQUIRED BY THE APPROPRIATE AGENCY. 34. TRUCKS USED IN HAULING DIRT TO OR FROM THE SITE ON PUBLIC ROADS WILL BE COVERED OR WILL MAINTAIN A SIX INCH DIFFERENTIAL BETWEEN THE MAXIMUM HEIGHT OF ANY MATERIAL HAULED AND THE TOP OF THE TRAILER. HAUL TRUCK DRIVERS WILL LOAD PRIOR TO LEAVING THE SITE TO PREVENT SOIL LOSS DURING
- 35. PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE, EXISTING SURVEY MONUMENTS SHALL BE NOTED AND DOCUMENTED BEFORE CONSTRUCTION. IF ANY MONUMENTS ARE DISTURBED DURING CONSTRUCTION THE CONTRACTOR SHALL PAY A LICENSED LAND SURVEYOR OR REGISTERED ENGINEER TO RESET

# PROFESSIONAL ENGINEERS NOTICE TO CONTRACTOR

- ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS "CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.
- CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- 3. THE EXISTENCE AND APPROXIMATE LOCATIONS OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CIVIL ENGINEER ASSUMES NO LIABILITY AS TO THE EXACT LOCATION OF SAID LINES NOR FOR UTILITY OR IRRIGATION LINES WHOSE LOCATIONS ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATIONS OF ALL LINES AFFECTING THIS WORK, WHETHER OR NOT SHOWN HEREON, AND FOR ANY DAMAGE TO OR PROTECTION OF THESE LINES.

# **DEMOLITION GENERAL NOTES**

- UTILITIES: THE EXISTENCE AND APPROXIMATE LOCATIONS OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS AND BEST RECOLLECTION OF FACILITY STAFF, THE CIVIL ENGINEER ASSUMES NO LIABILITY AS TO THE EXACT LOCATION OF SAID LINES NOR FOR UTILITY OR IRRIGATION LINES WHOSE LOCATIONS ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR POT HOLE TO DETERMINE THE EXACT LOCATIONS OF ALL LINES AFFECTING THIS WORK, WHETHER OR NOT SHOWN HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OR PROTECTION OF ALL EXISTING UTILITY LINES.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION OF THE SITE AND SHALL REMOVE AND DISPOSE OF ALL STRUCTURES ABOVE AND OR BELOW GROUND UNLESS OTHERWISE NOTED. ANY HAZARDOUS MATERIALS ENCOUNTERED SHALL BE HANDLED AND REMOVED AS REQUIRED BY LOCAL AND/OR STATE LAWS AT NO COST TO THE OWNER
- IMPROVEMENTS, UTILITY FACILITIES, AND LANDSCAPING FEATURES THAT ARE NOT AFFECTED BY THESE PLANS.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DAMAGE TO EXISTING HARDSCAPE

- 4. ALL JOIN LINES SHALL BE SAW CUT ON A NEAT, STRAIGHT LINE PARALLEL WITH THE JOIN. THE CUT EDGE SHALL BE PROTECTED FROM CRUSHING, AND ALL BROKEN EDGES SHALL BE RECUT PRIOR TO JOINING.
- 5. ALL EXISTING OBJECTIONABLE MATERIALS THAT CONFLICT WITH PROPOSED IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, BUILDING FOUNDATIONS, UTILITIES AND APPURTENANCES, TREES, SIGNS, AND STRUCTURES, ETC. SHALL BE REMOVED AND DISPOSED BY THE CONTRACTOR AT NO COST TO THE OWNER, UNLESS OTHERWISE INDICATED HEREIN, OR AS DIRECTED BY THE CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STREETS FROM DAMAGES CAUSED BY HIS OPERATIONS. ANY CURBS DAMAGED DURING HIS OPERATIONS SHALL BE SAWCUT AND REPLACED AT NO COST TO THE OWNER. ANY EXISTING PAVING IDENTIFIED AS POTENTIALLY NEEDING TO BE REPLACED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL PERFORM AND BE RESPONSIBLE FOR ALL CLEARING AND GRUBBING OPERATIONS AS NECESSARY TO COMPLETE THE WORK, INCLUDING TRANSPORTATION AND DISPOSAL OF ALL REMOVED MATERIALS, AND ALL ASSOCIATED COSTS.

# ACCESSIBILITY NOTICE TO CONTRACTOR

- 1 ALL SLOPES IN DIRECTION OF TRAVEL SHOWN ON THIS PLAN WERE DESIGNED AT OR BELOW MAXIMUM ALLOWED GRADES BY THE AMERICANS WITH DISABILITIES ACT ACCESS GUIDE (ADAAG), AND THE CALIFORNIA BUILDING CODE (CBC) IT IS THE RESPONSIBILITY OF THE THAT A DESIGN QUESTION SHOULD ARISE, OR A FIELD CONDITION PRESENT ITSELF THAT IS DIFFERENT THAN SHOWN ON THESE PLANS, WORK SHOULD CEASE AND THE DESIGN ENGINEER SHALL BE NOTIFIED SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- 2. THE CONTRACTOR IS ADVISED TO CAREFULLY CHECK ALL PHASES OF WORK RELATING TO ADAAG AND CBC ACCESS FOR THIS PROJECT. SINCE THE CODE DOES NOT ALLOW FOR A CONSTRUCTION TOLERANCE, ANY CONSTRUCTION THAT EXCEEDS MAXIMUM OR MINIMUM DIMENSIONS AND SLOPES AS CALLED OUT BY ADAAG AND CBC ARE SUBJECT TO REJECTION BY THE INSPECTOR AND MAY BE REQUIRED TO BE REMOVED AND REPLACED.
- SINCE THE CIVIL ENGINEER OR SURVEYOR CANNOT CONTROL THE EXACT METHODS OR MEANS USED BY THE GENERAL CONTRACTOR OR THEIR SUB-CONTRACTORS DURING THE GRADING AND CONSTRUCTION OF THE PROJECT, THE CIVIL ENGINEER OR SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE FINAL ACCEPTANCE OF ADAAG AND CBC RELATED ITEMS OF THIS PROJECT BY THE INSPECTING AUTHORITY OR OTHER AFFECTED PARTIES.
- COMPLIANCE WITH THE ADAAG AND CBC CONSTRUCTION REQUIREMENTS AND CALIFORNIA TITLE 24 WILL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS.

# PROJECT INFORMATION

ZONING:	RECREATIONAL
APN:	013-131-038
FLOOD ZONE:	X
SITE AREA:	28.12 AC
AREA DISTURBED:	0.1 AC
SITE SLOPE:	3%
MAX SLOPE WHERE GRADING OCCURS:	2%

WDID NUMBER: NOT REQUIRED (LESS THAN 1 ACRE)

GRADING INFORMATION\*

20 CUBIC YARDS CUT QUANTITY 20 CUBIC YARDS FILL QUANTITY: **0 CUBIC YARDS EXPORT** NET CUT/FILL:

\* EARTHWORK QUANTITIES ARE PROVIDED FOR PERMITTING INFORMATION ONLY. THE QUANTITIES SHOWN ABOVE ARE NOT INTENDED FOR USE BY THE CONTRACTOR WHEN ESTIMATING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO GENERATE AND/OR VERIFY

# **UTILITY INFORMATION**

ECTRICITY:	PACIFIC GAS AND ELECTRIC WWW.PGE.COM 1-800-PGE-5000

WATER/SEWER

CAMBRIA COMMUNITY SERVICES DISTRICT 1316 TAMSEN STREET, SUITE 201 CAMBRIA, CA 93428 805-927-6223

# SURVEY NOTES

**BENCHMARK** THE BENCHMARK FOR THIS PROJECT IS NGS CONTROL POINT (DESIGNATION - Z 693 RESET, PID -FV2058) AT THE INTERSECTION OF BURTON DRIVE AND MAIN STREET IN CAMBRIA, 29 FEET NORTHERLY OF INTERSECTION, IN PLANTER AREA NEXT TO PARKING LOT FOR NEW BANK OF AMERICA BUILDING, 0.6 FEET ABOVE SIDEWALK

ELEVATION = 67.90 FEET NAVD88

THE BASIS OF BEARING FOR THIS PROJECT IS BASED ON CA STATE PLANE COORDINATE SYSTEM ZONE V, NAD83 (1992), AS DEFINED BY CONTROL POINTS 19 AND 20 SHOWN ON 69 RS 74. THE BEARING BETWEEN THESE POINTS IS S 76° 42' 57" W PER SAID MAP.

ORIGIN OF SURVEY INFORMATION THE TOPOGRAPHIC INFORMATION SHOWN IN THESE DRAWINGS AND USED TO DESIGN THE INFORMATION SHOWN ON THESE DRAWINGS WAS PERFORMED AND PREPARED BY MBS LAND SURVEYS IN MAY, 2015, IF DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION THE SURVEYOR AND CONTRACTOR WILL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY AND PRIOR

# PROJECT PARTICIPANTS

TO CONTINUING CONSTRUCTION.

PROPERTY OWNER:

AGENCY:

CAMBRIA COMMUNITY SERVICES DISTRICT

1316 TAMSEN STREET, SUITE 201 CAMBRIA, CA 93428

805-927-6223 **COUNTY OF SAN LUIS OBISPO** 1055 MONTEREY STREET

CAMBRIA, CA 93428

805-706-0401

SAN LUIS OBISPO, CA 93408

805-781-5000 CIVIL ENGINEER: CIVIL DESIGN STUDIO, INC. MONTE SOTO, P.E., QSD P.O. BOX 199

# ABBREVIATIONS

**GUY WIRE ANCHOR** 

SEWER INVERT ELEVATION

IRRIGATION CONTROL VALVE

STORM DRAIN INVERT ELEVATION

HOSE BIB

HIGH POINT

IRRIGATION

LEGEND

APWA	AMERICAN PUBLIC WORKS	JP	JOINT POLE
	ASSOCIATION	L/A	LANDSCAPE AREA
AC	ASPHALTIC CONCRETE	LP	LIGHT POLE / LOW POINT
ARCH	ARCHITECT	MH	MANHOLE
AV	AIR VAC RELEASE	MJ	MECHANICAL JOINT
BLDG	BUILDING	MON	MONUMENT
BCR	BEGIN CURB RETURN	NG	NATURAL GRADE
BEG	BEGINNING	NAP	NOT A PART
BF	BLIND FLANGE	OH / OHD	OVERHEAD UTILITY
BSW	BACK OF SIDEWALK	P/A	PLANTER AREA
BVC	BEGIN VERTICAL CURVE	P/L	PROPERTY LINE
BW	BOTTOM OF WALL	PC	POINT OF CURVATURE
ВО	BLOW OFF	PCCR	POINT OF COMPOUND CURVE
C/L	CENTERLINE	PCC	PORTLAND CEMENT CONCRETE
СВ	CATCH BASIN	PE	PAD ELEVATION
CMU	CONCRETE MASONRY UNIT	PI	POINT OF INFLECTION
CO	CLEANOUT	POC	POINT OF CONNECTION (UTILITY)
CONC	CONCRETE	PP	POWER POLE ` ´
DDC	DOUBLE DETECTOR CHECK	PRCR	POINT OF REVERSE CURVE
D/W	DRIVEWAY	PS	PARKING STRIPE
ECR	END CURB RETURN	PT	POINT OF TANGENCY
EG	EXISTING GRADE	PUE	PUBLIC UTILITY EASEMENT
EL.	ELEVATION	PVI	POINT OF VERTICAL INFLECTION
ENG	ENGINEER	R/W, ROW	RIGHT OF WAY
EP	EDGE OF PAVEMENT	RP	REDUCED PRESSURE BACKFLOW
ESMT			DEVICE
EVC	END VERTICAL CURVE	SD	STORM DRAIN
FDC	FIRE DEPARTMENT CONNECTION	SG	SUB-GRADE ELEVATION
FF	FINISHED FLOOR ELEVATION	SS	SANITARY SEWER
FG	FINISHED GROUND ELEVATION	STA	STATION
FH	FIRE HYDRANT	TB	THRUST BLOCK
FL	FLOW LINE	TC	TOP OF CURB
FLG	FLANGED	TEL	TELEPHONE
FS	FINISHED SURFACE ELEVATION	TF	TOP OF FOOTING
GB	GRADE BREAK	TI	TRAFFIC INDEX
GM	GAS METER	TG	TOP OF GRATE
GV	GAS VALVE	TW	TOP OF WALL
GTD	GRADE TO DRAIN	VC	VERTICAL CURVE

# TABLE 1705.6 (2019 CALIFORNIA BUILDING CODE)

WDID

VERTICAL CURVE

WASTE DISCHARGE

WATERLINE

WATER METER

WATER VALVE

IDENTIFICATION NUMBER

VAULT

CHECK IF REQUIRED	VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
×	1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.		x
×	2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.		x
×	3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.		х
×	4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	Х	
×	5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.		х

SD STORM DRAIN LINE

— E — (E) ELECTRIC LINE

------------------------------(E) FLOWLINE

RETAINING WAL

SANITARY SEWER LINE

SEWER FORCE MAIN

(E) MAJOR CONTOUR

(E) MINOR CONTOUR

WATERLINE

# NOISE REDUCTION PLAN

RECOMMENDED BY THE MANUFACTURER:

LANGUAGE): AND.

- LIMIT ALL PHASES OF CONSTRUCTION TO THE HOURS OF 7:00 AM TO 9:00PM MONDAY THROUGH FRIDAY AS REQUIRED BY COUNTY ORDINANCE
- REGULAR NOTIFICATION OF ALL EXISTING AND FUTURE RESIDENCES WITHIN 1,000 FEET OF THE SITE BOUNDARY CONCERNING THE CONSTRUCTION SCHEDULE;
- 3. SHIELD ESPECIALLY LOUD PIECES OF STATIONARY CONSTRUCTION EQUIPMENT;
- 4. LOCATE PORTABLE GENERATORS, AIR COMPRESSORS, ETC. AWAY FROM SENSITIVE NOISE RECEPTORS;
- 5. LIMIT GROUPING MAJOR PIECES OF EQUIPMENT OPERATING IN ONE AREA TO THE GREATEST EXTENT
- 6. PLACE HEAVILY TRAFFICKED AREAS SUCH AS THE MAINTENANCE YARD, EQUIPMENT, TOOLS, AND OTHER
- SURROUNDING SENSITIVE NOISE RECEPTORS; 7. USE NEWER EQUIPMENT THAT IS QUIETER AND ENSURE THAT ALL EQUIPMENT ITEMS HAVE THE MANUFACTURERS' RECOMMENDED NOISE ABATEMENT MEASURES, SUCH AS MUFFLERS, ENGINE COVERS, AND ENGINE VIBRATION ISOLATORS INTACT AND OPERATIONAL INTERNAL COMBUSTION ENGINES USED
- CONDUCT WORKER-TRAINING MEETINGS TO EDUCATE AND ENCOURAGE NOISE AWARENESS AND SENSITIVITY. THIS TRAINING SHOULD FOCUS ON WORKER CONDUCT WHILE IN THE VICINITY OF SENSITIVE RECEPTORS (I.E., MINIMIZING AND LOCATING THE USE OF CIRCULAR SAWS IN AREAS ADJACENT TO SENSITIVE RECEPTORS AND BEING MINDFUL OF SHOUTING AND THE LOUD USE OF ATTENTION DRAWING
- 9. NOTIFY SURROUNDING RESIDENCES IN ADVANCE OF THE CONSTRUCTION SCHEDULE WHEN UNAVOIDABLE CONSTRUCTION NOISE AND UPCOMING CONSTRUCTION ACTIVITIES LIKELY TO PRODUCE AN ADVERSE NOISE ENVIRONMENT ARE EXPECTED. NOTICING SHALL PROVIDE PHONE NUMBER OF THE PROJECT MANAGER. CONSTRUCTION FOREMAN, AND ANY OTHER PERTINENT PROJECT TEAM MEMBERS. THIS NOTICE SHALL BE GIVEN ONE WEEK IN ADVANCE, AND AT A MINIMUM OF ONE DAY IN ADVANCE IF ANTICIPATED ACTIVITIES HAVE CHANGED (I.E., NOTICE IN LOCAL PUBLICATION, TEMPORARY SIGNAGE POSTINGS, ETC.). PROJECT REPRESENTATIVES SHALL VERBALLY NOTIFY ALL SURROUNDING RESIDENTIAL OWNERS IF ONE DAY ADVANCE NOTICE IS GIVEN.

# AIR POLLUTION CONTROL DISTRICT (APCD) NOTES

DEVELOPMENTAL BURNING DEVELOPMENTAL BURNING OF VEGETATIVE MATERIAL IS PROHIBITED IN SAN LUIS OBISPO COUNTY.

#### JUST CONTROL MEASURES REDUCE THE AMOUNT OF DISTURBED AREA WHERE POSSIBLE.

- WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. INCREASED WATERING FREQUENCY SHALL BE REQUIRED WHENEVER WIND SPEEDS EXCEED 15 MPH RECLAIMED (NON-POTABLE) WATER SHALL BE LISED WHENEVER POSSIBLE SINCE WATER USE IS A CONCERN DUE TO DROUGHT CONDITIONS. THE CONTRACTOR OR BUILDER SHALL CONSIDER THE USE OF AN APCD APPROVED DUST SUPPRESSANT WHERE FEASIBLE TO REDUCE THE AMOUNT OF WATER USED FOR DUST CONTROL
- ALL DIRT STOCKPILE AREAS SHALL BE SPRAYED DAILY AS NEEDED.
- EXPOSED GROUND AREAS THAT ARE PLANNED TO BE REWORKED AT DATES GREATER THAN ONE MONTH AFTER INITIAL GRADING SHALL BE SOWN WITH A FAST-GERMINATING NATIVE GRASS SEED (NATIVE TO THE FRP) AND WATERED UNTIL VEGETATION IS ESTABLISHED.
- 5. ALL DISTURBED SOIL AREAS NOT SUBJECT TO RE-VEGETATION SHALL BE STABILIZED USING APPROVED CHEMICAL SOIL BINDERS, JUTE NETTING, OR OTHER METHODS APPROVED IN ADVANCE BY THE APCD.
- ALL ROADWAYS, DRIVEWAYS, SIDEWALKS, ETC. TO BE PAVED SHOULD BE COMPLETED AS SOON AS POSSIBLE AFTER INITIAL SITE GRADING. IN ADDITION, BUILDING PADS SHALL BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.
- VEHICLE SPEED FOR ALL CONSTRUCTION VEHICLES SHALL BE POSTED TO NOT EXCEED 15 MPH ON ANY UNPAVED SURFACE AT THE CONSTRUCTION SITE
- 8. ALL TRUCKS HAULING DIRT, SAND, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHALL MAINTAIN AT LEAST TWO FEET OF FREE BOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC § 23114
- 9. WHEEL WASHERS SHALL BE INSTALLED WHERE VEHICLES ENTER AND EXIT UNPAVED ROADS ONTO STREETS, OR WASH OFF TRUCKS AND EQUIPMENT LEAVING THE SITE
- 10. STREETS SHALL BE SWEPT AT THE END OF EACH DAY IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PAVED ROADS. WATER SWEEPERS WITH RECLAIMED WATER SHALL BE USED WHEN FEASIBLE.
- 11. PERMANENT DUST CONTROL MEASURES SHALL BE IMPLEMENTED AS SOON AS POSSIBLE FOLLOWING COMPLETION OF ANY SOIL DISTURBING ACTIVITIES.
- 12. THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR FUGITIVE DUST EMISSIONS AND ENHANCE THE IMPLEMENTATION OF THE MEASURES AS NECESSARY TO MINIMIZE DUST COMPLAINTS AND REDUCE VISIBLE EMISSIONS BELOW THE APCD'S 20% OPACITY FOR GREATER THAN THREE MINUTES IN AND 60 MINUTE PERIOD. THEIR DUTIES SHALL INCLUDE HOLIDAYS AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THE NAME AND TELEPHONE NUMBER OF SUCH PERSONS SHALL BE PROVIDED TO THE APCD COMPLIANCE DICISION PRIOR TO THE START OF ANY GRADING, EARTHWORK, OR DEMOLITION.
- CONSTRUCTION PHASE IDLING LIMITATIONS ON ROAD DIESEL VEHICLES SHALL COMPLY WITH SECTION 2485 OF TITLE 13 OF THE CALIFORNIA CODE OF REGULATIONS. THIS REGULATION LIMITS IDLING FROM DIESEL FLIELED COMMERCIAL MOTOR VEHICLES WITH GROSS VEHICULAR WEIGHT RATINGS OF MORE THAN 10.000 LBS AND LICENSED FOR OPERATION ON
- HIGHWAYS, IT APPLIES TO CALIFORNIA AND NON CALIFORNIA BASE VEHICLES, IN GENERAL, THE REGULATION SPECIFIES: 1.1. SHALL NOT IDLE THE VIHICLE'S PRIMARY DIESEL ENGINE FOR GREATER THAN FIVE MINUTES AT ANY LOCATION, EXCEPT AS NOTED IN SUBSECTION (d) OF THE REGULATION; AND
- 1.2. SHALL NOT OPERATE A DIESEL FUELED AUXILIARY POWER SYSTEM (APS) TO POWER A HEATER, AIR CONDITIONER OR ANY ANCILLARY FOLIPMENT ON THAT VEHICLIE DURING SLEEPING OR RESTING IN A SLEEPER BERTH FOR GREATER THAN FIVE MINUTES AT ANY LOCATION WHEN WITHIN 1,000 FT OF A RESTRICTED AREA. EXCEPT AS NOTED IN SUBSECTION (d) OF THE REGULATION.
- 2. OFF ROAD DIESEL EQUIPMENT SHALL COMPLY WITH THE FIVE MINUTE IDLING RESTRICTION IDENTIFIED IN SECTION 2449(d)(2) FO THE CALIFORNIA AIR RESOURCES BOARD'S IN USE OFF ROAD DIESEL REGULATION.
- 4. SIGNS MUST BE POSTED IN THE DESIGNATED QUEING AREAS AND JOB SITES TO REMIND DRIVERS AND OPERATORS OF THE STATE'S FIVE MINUTE IDLING LIMIT

THE SPECIFIC REQUIREMENTS AND EXCEPTIONS IN THE REGULATIONS CAN BE REVIEWED AT THE FOLLOWING

- WWW.ARB.CA.GOV/MSPROG/TRUCK-IDLING/2845.PDF WWW.ARB.CA.GOV/REGACT/2007/ORDIESL07/FROOAL.PDF 8. IN ADDITION TO THE STATE REQUIRED DIESEL IDLING REQUIREMENTS, THE PROJECT APPLICANT SHALL COMPLY
- WITH THESE MORE RESTRICTIVE REQUIREMENTS TO MINIMIZE IMPACTS TO NEARBY SENSITIVE RECEPTORS: 8.1. STAGING AND QUEING AREAS SHALL NOT BE LOCATED WITHIN 1.000 FT OF SENSITIVE RECEPTORS:
- DIESEL IDLING WITHIN 1,000 FT OF SENSITIVE RECEPTORS SHALL NOT BE PERMITTED; 8.3. USE OF ALTERNATIVE FUELED EQUIPMENT IS RECOMMENDED; 8.4. SIGNS THAT SPECIFY THE NO IDLING AREAS MUST BE POSTED AND ENFORCED AT THE SITE.

(E) SD MANHOLE

(E) SS MANHOLE

(E) SD/SS CLEANOU

(E) FIRE HYDRANT

(E) WATER METER

(E) WATER VALVE

(E) GREASE INTERCEPTOR

(E) BACKFLOW DEVICE

(E) POST INDICATOR VALVE

(E) FIRE DEPARTMENT CONNECTION

(E) SD CATCH BASIN

ASPHALT PAVING

PLANTER AREA

(435.55) (E) ELEVATION

1.0% FINISH SURFACE GRADE

(1.0%) (E) SURFACE GRADE

CONCRETE IN DRIVE AISLE

CONCRETE IN PEDESTRIAN AREA

DETECTABLE WARNING SURFACE

FINISH SURFACE ELEVATION

- IF THE PROPOSED PROJECT INCREASES VEHICLE TRAFFIC BY 36 OR MORE TRIPS PER DAY, THE APCD RECOMMENDS THAT THE PROJECT IMPLEMENT THE FOLLOWING: 1.1. FOR THE LIFE OF THE PROJECT, PAVE AND MAINAIN THE ROADS, DRIVEWAYS, AND/OR PARKING AREAS; OR
- 1.2. FOR THE LIFE OF THE PROJECT, MAINTAIN THE UNPAVED ROADS, DRIVEWAYS, AND/OR PARKING AREAS WITH A DUST SUPPRESSANT (SEE TECHNICAL APPENDIX 4.3 OF THE APCD'S CEQA HANDBOOK FOR A LIST OF APCD APPROVED SUPPRESSANTS) SUCH THAT FUGITIVE DUST EMISIONS DO NOT EXCEED THE APCD 20% OPACITY LIMIT FOR GREATER THAN THREE MINUTES IN AND 60 MINUTE PERIOD OR PROMPT NUISANCE
- 1.3. TO IMPROVE THE DUST SUPPRESSANT'S LONG TERM EFICACY, THE APPLICANT SHALL ALSO IMPLEMENT AND MAINTAIN DESIGN STANDARDS TO ENSURE VEHICLES THAT USE THE ONSITE UNPAVED ROADS ARE PHYSICALLY LIMITED TO A POSTED SPEED LIMIT OF 15 MPH OR LESS.

SD MANHOLE

SS MANHOLE

SD CATCH BASIN

SD/SS CLEANOUT

FIRE HYDRANT

WATER METER

WATER VALVE

YARD DRAIN

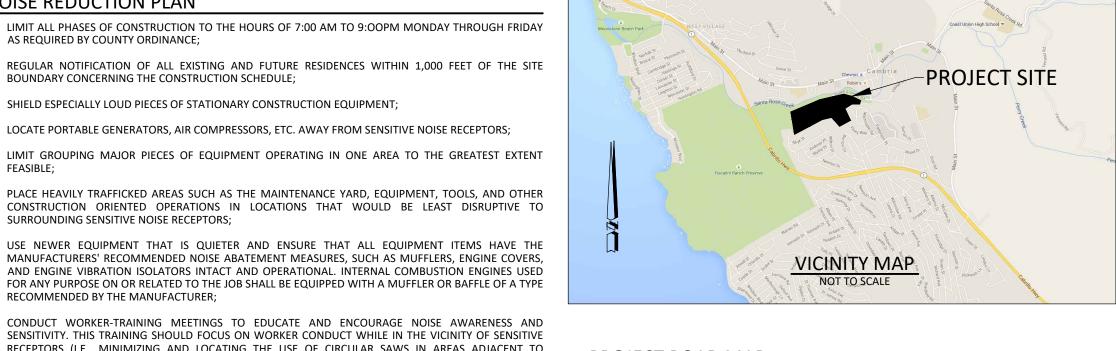
THRUST BLOCK

BACKFLOW DEVICE

POST INDICATOR VALVE

GREASE INTERCEPTOR

FIRE DEPARTMENT CONNECTION



# PROJECT ROAD MAP

THIS CURRENT PROPOSED PROJECT IS PHASE 2 OF A LARGER PROJECT THAT INCLUDES MULTIPLE FUTURE PROJECTS, PHASE 1 HAS BEEN CONSTRUCTED. THE COMPLETE PROJECT ROAD MAP AND COMPLETE SCOPE OF WORK IS SHOWN BELOW FOR REFERENCE. THE CURRENT PHASE 2 SCOPE IS SHOWN IN BLACK

# SCOPE OF WORK

SITE FINISH GRADING (DOG PARK, PARKING LOT, EMERGENCY ACCESS ROAD)

RED ROCK PARKING LOT (95 SPACES) WITH ADA PARKING STALLS, SIGNAGE, AND ACCESSIBLE PERVIOUS PAVER WALKWAY

DOG PARK (ANTICIPATED TO BE CONSTRUCTED BY VOLUNTEERS AND DONATIONS)

CONTOUR SMOOTHING AND RESEDING OF ALL DISTURBED AREAS (NO LANDSCAPING)

EMERGENCY ACCESS ROAD

NO UTILITIES (OTHER THAN STORM DRAIN) ARE PROPOSED WITH PHASE 1 (NO ELECTRIC, GAS,

BATHROOM BUILDING REQUIRES DISABLED ACCESS REVIEW REQUIRES SOILS REPORT

THE REMAINING PHASES ARE NOT SHOWN AND WILL REQUIRE SEPARATE PERMITS FROM THE COUNTY OF SAN LUIS OBISPO. SEE BELOW FOR A LIST OF FUTURE PROJECTS AND THE MINIMUM REQUIRED FUTURE SUBMITTAL COMPONENTS (BECAUSE THESE ITEMS ARE NOT INCLUDED WITH THIS PLAN AND PERMIT). NOTE THAT OTHER SUBMITTAL COMPONENTS MAY BE REQUIRED BY THE COUNTY AT THE

SPORTS FIFLD REQUIRES DISABLED ACCESS REVIEW

ACCESSIBLE PATH CONNECTION TO EXISTING BRIDGE

WATER TANK / UTILITIES / LIGHTING

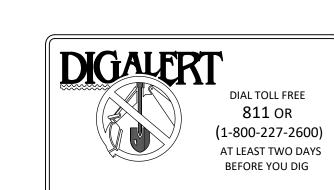
PRE-CONSTRUCTION MEETING THE COUNTY WILL SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO COMMENCEMENT OF WORK. THE MEETING WILL INCLUDE (AT A MINIMUM) THE OWNER/REPRESENTATIVE, CONTRACTORS, THE FNGINEER OF RECORD. THE GEOTECHNICAL ENGINEER, PERTINENT UTILITY COMPANY REPRESENTATIVES THE SURVEYOR, AND AGENCY STAFF. AT THE PRE-CONSTRUCTION MEETING THE INSPECTOR GEOTECHNICAL ENGINEER, AND CONTRACTOR ARE REQUIRED TO GO OVER THE SPECIAL INSPECTION REPORTING REQUIREMENTS, EROSION CONTROL, AND VERIFY THAT THE SPECIAL INSPECTORS ARE

COMPLIANCE, LIGHTING, AND ALL UTILITIES. SPECIAL INSPECTION TABLE

PER COA 17 SOIL MATERIAL FOR THIS PROJECT WILL BE MOVED AT A RATE LESS THAN 2,000 CUBIC YARDS PER DAY, AND LESS THAN 53,500 CUBIC YARDS PER QUARTER.

# • FINAL REPORTS SHALL BE REQUIRED IN ACCORDANCE WITH TITLE 19 FOR ENGINEERED GRADING. THE ENGINEER OF RECORD SHALL PROVIDE A FINAL REPORT VERIFYING THE WORK PERFORMED IS IN

She	et List Table
Sheet Number	Sheet Title
C100	TITLE SHEET
C101	CONDITIONS OF APPROVAL



TEXT. PHASE 1 AND OTHER FUTURE PHASES IS SHOWN IN SHADED TEXT FOR REFERENCE.

DRAINAGE INFRASTRUCTURE (VEGETATED SWALES, DRAINAGE DITCHES, STORM DRAIN PIPES)

NO SOILS REPORT HAS BEEN PROVIDED WITH THE PHASE 1 PERMIT BECAUSE NO STRUCTURES ARE PROPOSED. FUTURE PROJECTS WILL REQUIRE A SOILS REPORT.

# LIGHTING, WATER, SEWER, TELECOM, ETC.

REQUIRES GRADING PLAN

TIME OF SUBMITTAL:

PLAYGROUND AREA AND EQUIPMENT REQUIRES DISABLED ACCESS REVIEW REQUIRES SOILS REPORT REQUIRES GRADING PLA

DECOMPOSED GRANITE NATURE TRAILS REQUIRES INFORMATIONAL SIGNAGE

# SEPARATE PERMITS ARE REQUIRED FOR ALL FUTURE WORK NOT INCLUDED IN THESE PLANS. THIS

INCLUDES BUILDINGS, WALKWAYS, SPORTS FIELDS, PLAYGROUND EQUIPMENT, DISABLED ACCESS

# SEE TABLE 1705.6 FROM THE 2019 CALIFORNIA BUILDING CODE TO THE LEFT.

REPORTS REQUIRED

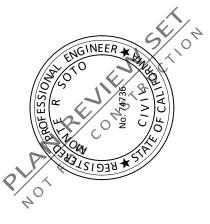
#### SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS. • A SOIL OR CIVIL ENGINEER SHALL DETERMINE THAT THE GRADING PERFORMED IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND IS SUITABLE TO SUPPORT ALL OF THE INTENDED

Sheet List Table					
Sheet Number	Sheet Title				
C100	TITLE SHEET				
C101	CONDITIONS OF APPROVAL				
C200	EXISTING CONDITIONS				
C300	SITE PLAN				
C400	GRADING AND DRAINAGE PLAN				
C500	UTILITY PLAN				
C700	EROSION CONTROL PLAN				
C800	DETAIL SHEET				
	Sheet Number				





NGINEER OF RECORD:



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REVISIONS

MUNI TRICT DRIVE

October 1, 2021

SHEET 1 OF 8 SHEETS

REVIEWED BY: PREPARED BY:

**AS SHOWN** 

13-109.6

TITLE SHEET

DEVELOPMENT OF A COMMUNITY PARK ON THE EAST FRP:

• IMPROVEMENTS AND ADDITIONS TO THE EXISTING TRAIL SYSTEM ON THE WEST FRP AND EAST FRP (SEE TABLE A FOR LIST OF SPECIFIC TRAILS); MANAGEMENT AND RESTORATION OF RESOURCES ON THE ERP-

O THE COMMUNITY PARK PLAN INCLUDES ONE SPORTS FIELD (SUPPORTING 4 GAMES), A CHILDREN'S PLAYGROUND, DOG PARK, PATHS, NATURAL AREAS, AND PICNIC AREAS. • EACH PROPOSED TRAIL WILL BE DESIGNED FOR A SPECIFIC USE OR MULTIPLE USES, INCLUDING HIKING, BIKING, EQUESTRIAN, AND AMERICAN DISABILITIES ACT (ADA) ACCESSIBILITY. • RESTORATION PROJECTS THROUGHOUT THE FRP, BUT PRIMARILY ON THE WEST FRP, INCLUDING RIPARIAN AND WETLAND HABITAT RESTORATION, BLUFF AND GULLY STABILIZATION, ERADICATION OF WEEDS AND INVASIVE PLANTS, AND MAINTENANCE OF GRASSLAND. • SIGNAGE THROUGHOUT THE FRP TO EDUCATE AND INFORM THE PUBLIC REGARDING SENSITIVE NATURAL RESOURCES AND • THIS DEVELOPMENT PLAN IS A PHASED PROJECT AND MUST BE VESTED WITHIN TWELVE (12) YEARS FROM THE DATE OF

# NDITIONS REQUIRED TO BE COMPLETED AT THE TIME OF APPLICATION FOR CONSTRUCTION PERMITS:

APPROVAL AS FURTHER DEFINED IN CONDITION 112. TIME EXTENSIONS PAST 12 YEARS SHALL NOT BE GRANTED.

AT THE TIME OF APPLICATION FOR CONSTRUCTION PERMITS PLANS SUBMITTED SHALL SHOW ALL DEVELOPMENT CONSISTENT WITH THE APPROVED SITE PLAN, FLOOR PLAN, ARCHITECTURAL ELEVATIONS AND LANDSCAPE PLAN

AT THE TIME OF APPLICATION FOR CONSTRUCTION PERMITS. THE APPLICANT SHALL PROVIDE DETAILS ON ANY PROPOSED EXTERIOR LIGHTING. IF APPLICABLE. THE DETAILS SHALL INCLUDE THE HEIGHT. LOCATION. AND INTENSITY OF ALL EXTERIOR LIGHTING. ALL LIGHTING FIXTURES SHALL BE SHIELDED SO THAT NEITHER THE LAMP NOR THE RELATED REFLECTOR INTERIOR SURFACE IS VISIBLE FROM ADJACENT PROPERTIES. LIGHT HOODS SHALL BE DARK COLORED.

4. **AT THE TIME OF APPLICATION FOR CONSTRUCTION PERMITS**, ALL PLANS SUBMITTED TO THE DEPARTMENT OF PLANNING AND BUILDING SHALL MEET THE FIRE AND LIFE SAFETY REQUIREMENTS OF THE CALIFORNIA FIRE CODE.

5. At the time of application for construction permits, the applicant shall provide a letter from cambria COMMUNITY SERVICES DISTRICT STATING THEY ARE WILLING AND ABLE TO SERVICE THE PROPERTY.

6 AT THE TIME OF APPLICATION FOR ANY REQUIRED CONSTRUCTION PERMITS. THE APPLICANT SHALL SUBMIT COMPLETE DRAINAGE PLANS AND FROSION AND SEDIMENTATION CONTROL PLANS FOR REVIEW AND APPROVAL IN ACCORDANCE WITH TITLE 23 OF THE LAND USE ORDINANCE.

MITIGATION MEASURES 7. AES/MM-4 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY, AND PRIOR TO SITE DISTURBANCE, PROPOSED TRAIL AND ROAD DESIGN PLANS SHALL INCLUDE THE FOLLOWING STANDARDS AND CONCEPTS:

ALL BOARDWALKS, BRIDGES, RETAINING STRUCTURES, EDGE STOPS, RAILING AND OTHER VISIBLE FEATURES SHALL BE MADE OF NATURAL OR NATURAL APPEARING MATERIALS THAT HAVE LOW REFLECTIVE QUALITIES AND DO NOT VISUALLY CONTRAST WITH THE NATURAL COLORS OF THE ADJACENT LANDCOVER. ALL PATH AND ACCESS ROAD SURFACES, INCLUDING EMERGENCY AND MAINTENANCE VEHICLE ROADS SHALL MATCH THE COLOR OF THE ADJACENT NATIVE EARTH, DECOMPOSED GRANITE AND POLYMER SURFACES, "ALL-WEATHER SURFACES,"

AMERICAN DISABILITIES ACT (ADA) COMPLIANT STABLE SURFACES. AND COMPACTED IMPORTED EARTH SURFACES SHALL BE DESIGNED AND CONSTRUCTED TO MATCH THE COLOR OF THE ADJACENT SOIL. THIS REQUIREMENT SHALL ALSO APPLY TO ALL ROAD-RELATED CULVERTS, ROCK SLOPE PROTECTION, AND DRAINAGE SYSTEM ALL TRAIL AND ROAD DESIGN SHALL MINIMIZE GRADING BY FOLLOWING THE NATURAL CONTOURS OF THE LAND AS MUCH AS POSSIBLE. WHERE GRADING IS UNAVOIDABLE, ALL SLOPES SHALL INCLUDE SLOPE-ROUNDING TO REDUCE THE ENGINEERED APPEARANCE OF THE EARTHWORK.

8. AES/MM-5 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY, AND PRIOR TO SITE DISTURBANCE, A SIGNAGE PLAN SHALL BE PREPARED. AND SHALL INCLUDE THE FOLLOWING STANDARDS AND CONCEPTS: ALL SIGNS SHALL BE MADE OF NATURAL OR NATURAL APPEARING MATERIALS THAT HAVE LOW REFLECTIVE QUALITIES AND DO NOT VISUALLY CONTRAST WITH THE NATURAL COLORS OF THE ADJACENT LANDCOVER. EXCEPTIONS SHALL BE MADE IN KEEPING WITH APPLICABLE ADA AND SAFETY STANDARDS.

ALL SIGNS SHALL BE THE MINIMUM SIZE NECESSARY FOR THEIR INTENDED PURPOSE, IN KEEPING WITH APPLICABLE ADA

ALL SIGNS SHALL BE PLACED IN THE LEAST VISUALLY OBTRUSIVE LOCATION POSSIBLE CONSISTENT WITH THEIRINTENDED PURPOSE, WITHOUT BLOCKING VIEWS OF THE PACIFIC OCEAN OR OTHER SCENIC RESOURCES, AND IN KEEPING WITH APPLICABLE ADA AND SAFETY STANDARDS. THE PROPOSED SIGNAGE PLAN SHALL BE DEVELOPED BY THE CCSD AND FRIENDS OF THE FISCALINI RANCH PRESERVE, AND

INCORPORATED INTO THE MANAGEMENT PLAN PRIOR TO SUBMITTAL TO THE COUNTY. 9. AES/MM-8 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY, AND PRIOR TO SITE DISTURBANCE TO ESTABLISH THE HIGHWAY 1 CENTRAL STAGING AREA, THE CCSD OR ITS DESIGNEE SHALL PROVIDE A COMPREHENSIVE VISUAL IMPACT ASSESSMENT TO THE COUNTY OF SAN LUIS OBISPO DEPARTMENT OF PLANNING AND BUILDING FOR REVIEW AND APPROVAL THIS PLAN SHALL INCORPORATE THE FOLLOWING FLEMENTS:

VISUAL SCREENING FROM HIGHWAY 1. LOCATION OF ANY STRUCTURES TO MINIMIZE VIEWS FROM HIGHWAY 1. SHIELDED LIGHTING (IF LIGHTING IS PROPOSED). APPROPRIATE COLORS AND MATERIALS CONSISTENT WITH THE COUNTY OF SAN LUIS OBISPO COMMUNITY PLAN, COUNTY

DESIGN GUIDELINES, AND PUBLIC ACCESS AND MANAGEMENT PLAN. 10. AES/MM-10 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY FOR THE COMMUNITY PARK, THE CCSD OR ITS DESIGNEE SHALL PROVIDE A COMPREHENSIVE VISUAL IMPACT ASSESSMENT OF PROPOSED BUILDINGS AND ASSOC STRUCTURAL IMPROVEMENTS TO THE COUNTY OF SAN LUIS OBISPO DEPARTMENT OF PLANNING AND BUILDING FOR REVIEW AND APPROVAL, PROPOSED STRUCTURES SHALL COMPLY WITH THE FOLLOWING PERFORMANCE STANDARDS:

THE PROPOSED DESIGN SHALL INDUDE ELEMENTS CONSISTENT WITH THE RURAL CHARACTER OF CAMBRIA COLORS AND MATERIALS SHALL CONSIST OF EARTHTONE, MUTED COLORS CONSISTENT WITH SURROUNDING NATURAL ROOF MATERIALS SHALL BE NON-REFLECTIVE.

11. AES/MM-11 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY FOR THE COMMUNITY PARK, THE CCSD OR ITS DESIGNEE SHALL PROVIDE A SECURITY LIGHTING PLAN SHOWING SHIELDED FIXTURES AND THE USE OF MOTION SENSORS EXTERIOR LIGHTING SHALL BE LIMITED TO SECURITY LIGHTING ON THE COMMUNITY CENTER RESTROOMS. BRIDGE. PLAYGROUND, AND PARKING AREA. ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED TO THE GROUND. ALI EXTERIOR LIGHTING SHALL NOT BE DIRECTED TOWARDS THE SKY, A STRUCTURE WALL, OR TOWARDS THE PROPERTY

12 AFS/MM-12 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY TO RELOCATE THE CCSD WATER WORKS OR COUNTY STORAGE YARD, THE CCSD OR ITS DESIGNEE SHALL SUBMIT DESIGN PLANS INCLUDING, BUT NOT LIMITED TO, THE

COLORS AND MATERIALS SHALL CONSIST OF EARTHTONE, MUTED COLORS CONSISTENT WITH SURROUNDING NATURAL LANDSCAPE SCREENING, CONSISTING OF NATIVE (NATIVE TO THE FRP), DROUGHT TOLERANT PLANT AND SHRUB SPECIES, SHALL PROVIDE A MINIMUM OF 50 PERCENT SCREENING FROM THE PARK AREA. STORED AND STOCKPILED MATERIALS SHALL BE SHIFLDED FROM VIEW BY SOLID FENCING AND/OR NATIVE VEGETATION.

13. AFS/MM-13 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY TO RELOCATE THE CCSD WATER FACILITY OR COUNTY STORAGE YARD, THE CCSD OR ITS DESIGNEE SHALL PROVIDE A COMPREHENSIVE VISUAL IMPACT ASSESSMENT TO THE COUNTY OF SAN LUIS OBISPO DEPARTMENT OF PLANNING AND BUILDING FOR REVIEW AND APPROVAL.

14. AG/MM-1 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN ILUS ORISPO FOR DEVELOPMENT OF THE COMMUNITY PARK MASTER PLAN. THE CCSD OR ITS DESIGNEE SHALL SUBMIT GRADING PLANS INCORPORATING SOIL CAPPING OF POTENTIALLY PRODUCTIVE AGRICULTURAL SOILS, WHERE FEASIBLE.

15. AQ/M M-1 UPON APPLICATION FOR CONSTRUCTION PERMITS AND PRIOR TO SITE DISTURBANCE, A DUST CONTROL PLAN SHALL BE PREPARED AND SUBMITTED TO THE APCD FOR APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. THE DUST CONTROL PLAN SHALL

USE APCD APPROVED BMPS AND DUST MITIGATION MEASURES; PROVIDE PROVISIONS FOR MONITORING DUST AND CONSTRUCTION DEBRIS DURING CONSTRUCTION: DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING OR OTHER MEASURES AS NECESSARY TO PREVENT TRANSPORT OF DUST OFF-SITE. DUTIES SHOULD INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS;

PROVIDE THE NAME AND TELEPHONE NUMBER OF SUCH PERSONS TO THE APED PRIOR TO CONSTRUCTION COMMENCEMENT. IDENTIFY COMPLIANT HANDLING PROCEDURES. FILL OUT A DAILY DUST OBSERVATION LOG.

16. AO/MM-3 UPON APPLICATION FOR CONSTRUCTION PERMITS AND PRIOR TO SITE DISTURBANCE. THE FOLLOWING MITIGATION MEASURES SHALL BE SHOWN ON ALL PROJECT PLANS AND IMPLEMENTED DURING THE APPROPRIATE GRADING AND CONSTRUCTION PHASES TO REDUCE PM10 EMISSIONS DURING EARTH MOVING ACTIVITIES: REDUCE THE AMOUNT OF THE DISTURBED AREA WHERE POSSIBLE.

WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. INCREASED WATERING FREQUENCY SHALL BE REQUIRED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WATER SHALL BE USED WHENEVER POSSIBLE ALL DIRT STOCKPILE AREAS SHALL BE SPRAYED DAILY AS NEEDED. EXPOSED GROUND AREAS THAT ARE PLANNED TO BE REWORKED AT DATES GREATER THAN ONE MONTH AFTER INITIAL GRADING SHALL BE SOWN WITH A FAST-GERMINATING NATIVE GRASS SEED (NATIVE TO THE FRP) AND WATERED UNTIL

VEGETATION IS ESTABLISHED. ALL DISTURBED SOIL AREAS NOT SUBJECT TO RE-VEGETATION SHALL BE STABILIZED USING APPROVED CHEMICAL SOIL BINDERS. JUTE NETTING. OR OTHER METHODS APPROVED IN ADVANCE BY THE APCD. ALL ROADWAYS, DRIVEWAYS, SIDEWALKS, ETC. TO BE PAVED SHOULD BE COMPLETED AS SOON AS POSSIBLE AFTER INITIAL SITE GRADING. IN ADDITION, BUILDING PADS SHALL BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR

VEHICLE SPEED FOR ALL CONSTRUCTION VEHICLES SHALL BE POSTED TO NOT EXCEED 15 MPH ON ANY UNPAVED SURFACE AT THE CONSTRUCTION SITE. ALL TRUCKS HAULING DIRT, SAND, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHALL MAINTAIN AT LEAST TWO FEET OF FREE BOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH FVF § 23114. WHEEL WASHERS SHALL BE INSTALLED WHERE VEHICLES ENTER AND EXIT UNPAVED ROADS ONTO STREETS. OR WASH OFF

TRUCKS AND EQUIPMENT LEAVING THE SITE. STREETS SHALL BE SWEPT AT THE END OF EACH DAY IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PAVED ROADS. WATER SWEEPERS WITH RECLAIMED WATER SHALL BE USED WHEN FEASIBLE. PERMANENT DUST CONTROL MEASURES SHALL BE IMPLEMENTED AS SOON AS POSSIBLE FOLLOWING COMPLETION OF ANY SOIL DISTURBING ACTIVITIES.

17. AQ/MM-5 UPON APPLICATION FOR CONSTRUCTION PERMITS AND PRIOR TO SITE DISTURBANCE, THE APPLICANT SHALL SUBMIT GRADING PLANS AND A CONSTRUCTION SCHEDULE DEMONSTRATING THAT SOIL MATERIAL WOULD NOT BE MOVED AT A RATE MORE THAN 53,500 CUBIC YARDS (CY) IN A QUARTER OR 2,000 CY IN A DAY. IF MATERIAL WOULD BE MOVED AT THIS RATE (OR GREATER), THE APPLICANT SHALL IMPLEMENT THE FOLLOWING STANDARD APCD MITIGATION MEASURES FOR THE PROJECT'S

CONSTRUCTION EQUIPMENT: MAINTAIN ALL CONSTRUCTION FOLIPMENT IN PROPER TUNE ACCORDING TO MANUFACTURER'S SPECIFICATIONS. FUEL ALL OFF-ROAD AND PORTABLE DIESEL POWERED EQUIPMENT. INCLUDING BUT NOT LIMITED TO BULLDOZERS. GRADER, CRANES, LOADERS, SCRAPERS, BACKHOES, GENERATOR SETS, COMPRESSORS, AUXILIARY POWER UNITS, WITH AIR RESOURCES BOARD (ARB) CERTIFIED MOTOR VEHICLE DIESEL FUEL (NON-TAXED VERSION SUITABLE FOR USE OFF-ROAD).

MAXIMITE TO THE EXTENT FEASIBLE. THE USE OF DIESEL CONSTRUCTION EQUIPMENT MEETING THE ARB'S 1996 OR NEWER CERTIFICATION STANDARD FOR OFF-ROAD HEAVY-DUTY DIESEL ENGINES. ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT BE ALLOWED TO IDLE FOR MORE THAN 5 MINUTES. SIGNS SHALL BE POSTED IN THE DESIGNATED QUEUING AREAS TO REMIND DRIVERS AND OPERATORS OF THE 5 MINUTE IDLING LIMIT.

ELECTRIFY EQUIPMENT WHERE FEASIBLE. SUBSTITUTE GASOLINE-POWERED FOR DIESEL-POWERED EQUIPMENT WHERE FEASIBLE. USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG) LIQUEFIED NATURAL GAS (LNG), PROPANE, OR BIODIESEL.

BEST AVAILABLE CONTROL TECHNOLOGY (BACT - IMPLEMENTATION OF DOCS OR CDPFS) FOR CONSTRUCTION EQUIPMENT SHALL BE REQUIRED AND THE APPLICANT SHALL PROVIDE THE GRADING AMOUNTS AND SCHEDULE TO THE APCD PLANNING DIVISION AS SOON AS THEY ARE AVAILABLE SO THAT THE APPROPRIATE LEVEL OF BACT CAN BE DEFINED. AT LEAST 3 MONTHS PRIOR TO CONSTRUCTION, THE CONSTRUCTION COMPANY AWARDED THE CONTRACT SHAL CONTACT THE APCD PLANNING DIVISION (805-781-5912) TO COORDINATE THE IMPLEMENTATION OF THIS MITIGATION MEASURE THIS COMPANY WILL ALSO PROVIDE THE APCD. WITH PROOF THAT THE STANDARD (A-H. AROVE) AND BACT MITIGATION MEASURES HAVE BEEN IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION ACTIVITY. THESE MEASURES SHALL BE SHOWN ON ALL GRADING AND CONSTRUCTION PLANS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.

AQ/MM-6 UPON APPLICATION FOR CONSTRUCTION PERMITS AND PRIOR TO SITE DISTURBANCE, THE APPLICANTS SHALL: CONDUCT A GEOLOGIC ANALYSIS TO ENSURE THE PRESENCE/ABSENCE OF SERPENTINE ROCK ONSITE. THE GEOLOGIC ANALYSIS SHALL IDENTIFY IF NATURALLY OCCURRING ASBESTOS IS CONTAINED WITHIN THE SERPENTINE ROCK ONSITE:

IF NATURALLY OCCURRING ASBESTOS IS FOUND AT THE PROJECT SITE. THE APPLICANT MUST COMPLY WITH ALL REQUIREMENTS OUTLINED IN THE ASBESTOS AIRBORNE TOXIC CONTROL MEASURES (ATCM). IN ADDITION, THE APPLICANTS SHALL WORK WITH THE APONTO PREPARE AN APON-APPROVED ASSESTOS, HEALTH, AND SAFETY PROGRAM AND AN ASBESTOS DUST CONTROL PLAN PRIOR TO DEVELOPMENT PLAN APPROVAL. THE ASBESTOS HEALTH AND SAFETY PROGRAM AND ASBESTOS DUST CONTROL PLAN MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING: 1. FOLIPMENT OPERATOR SAFETY REQUIREMENTS: PROTECTIVE CLOTHING, BREATHING APPARATUSES TO PREVENT INHALATION.

DUST MITIGATION MEASURES: CONTINUALLY WATER SITE TO PREVENT AIRBORNE DUST MIGRATION. COVER ALL VEHICLE THAT HAUL MATERIALS FROM THE SITE IDENTIFICATION OF APCD-APPROVED DISPOSAL AREAS FOR ALL EXCAVATED MATERIALS

. IF NATURALLY-OCCURRING ASBESTOS IS NOT PRESENT, AN EXEMPTION REQUEST MUST BE FILED WITH THE APCD. 19. BIO/MM-1 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY, FOR SITE DISTURBANCE WITHIN JURISDICTIONAL AREAS, THE CCSD, OR ITS DESIGNEE, SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, AND AUTHORIZATIONS FROM JURISDICTIONAL AGENCIES. THESE MAY INCLUDE, BUT MAY NOT BE LIMITED TO: (1) ARMY CORPS OF ENGINEERS SECTION 404 NATIONWIDE PERMIT OR INDIVIDUAL PERMIT FOR IMPACTS TO ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS OR OTHER WATERS: (2) REGIONAL WATER OUALITY CONTROL BOARD SECTION 401 WATER OUALITY CERTIFICATION FOR DISCHARGES "WATERS OF THE U.S." AND/OR "WATERS OF THE STATE:" (3) CALIFORNIA DEPARTMENT OF FISH AND GAME SECTION 1602 STREAMBED ALTERATION AGREEMENT FOR ACTIVITIES WITHIN THE TOPS OF BANKS OR OUTER EDGES OF RIPARIAN CANOPIES (WHICHEVER EXTENDS FURTHEST FROM THE STREAMBEDS) OF DRAINAGES (4) U.S. FISH AND WILDLIFE SERVICE CONSULTATION; AND (5) NOAA FISHERIES CONSULTATION.

20. BIO/MM-3 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY, AND SITE DISTURBANCE, THE CCSD OR ITS DESIGNEE SHALL PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTENT WITH GUIDELINES, WHICH SHALL INCLUDE DETAILED SEDIMENT AND EROSION CONTROL PLANS CONSISTENT WITH ANY REQUIRED HABITAT MITIGATION MONITORING PLAN (HMMP). THE SWPPP SHALL SPECIFICALLY ADDRESS PROTECTION OF DRAINAGES, AND RIPARIAN AND WETLAND RESOURCES ON AND ADJACENT TO THE PROJECT SITE. COMPLIANCE SHALL BE VERIFIED BY THE PROJECT ENVIRONMENTAL MONITOR THROUGH SUBMISSION OF COMPLIANCE REPORTS.

1. BIO/MM-4 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY, AND PRIOR TO SITE DISTURBANCE, ALL RIPARIAN AND WETLAND AREAS SHALL BE SHOWN ON ALL CONSTRUCTION PLANS. THE RIPARIAN/WETLAND AREAS SHOWN ON GRADING PLANS SHALL BE BASED ON THE FIELD DATA COLLECTED AND PRESENTED IN THE ENVIRONMENTAL IMPACT REPORT OR FROM ANY SUBSEQUENT SURVEY WORK. ALL RIPARIAN VEGETATION PLANNED FOR REMOVAL SHALL BE SPECIFIED ON CONSTRUCTION PLANS. EXCEPT FOR ACTIVITIES REQUIRING REMOVAL OF RIPARIAN TREES AND ASSOCIATED UNDERSTORY VEGETATION THAT ARE SPECIFIED ON CONSTRUCTION PLANS. ALL GROUND DISTURBANCES AND VEGETATION REMOVAL SHALL BE PROHIBITED WITHIN THE OUTER EDGE OF THE RIPARIAN CANOPY OF ANY DRAINAGE ONSITE.

BIO/MM-10 PRIOR TO APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY AND PRIOR TO TRAIL CONSTRUCTION IN AREAS KNOWN TO CONTAIN SENSITIVE PLANT SPECIES OR NATIVE HABITATS, THE CCSD OR ITS DESIGNEE SHALL RETAIN A QUALIFIED BOTANIST/BIOLOGIST TO CONDUCT FOCUSED SURVEYS DURING THE APPROPRIATE FLOWERING PERIODS WITHIN THE SPECIFIC AREAS PROPOSED FOR DISTURBANCE, SURVEYS WILL FOCUS ON THOSE PLANTS AND HABITATS NOTED AS PRESENT OR AS HAVING A HIGH POTENTIAL FOR OCCURRENCE. BASED ON THE SURVEY RESULTS, TRAIL LOCATIONS SHALL BE ALTERED WHERE POSSIBLE TO MINIMIZE DISTURBANCE OR LOSS OF IDENTIFIED PLANTS AND HABITATS

3. BIO/MM-13 PRIOR TO APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY AND PRIOR TO TRAIL CONSTRUCTION WITHIN SENSITIVE AREAS, THE CCSD OR ITS DESIGNEE SHALL ENSURE THAT ALL RESOURCES ARE CONSIDERED AND AVOIDED WHERE FEASIBLE. IF CONFLICTS ARISE, THE CCSD SHALL CONSULT WITH APPROPRIATE AGENCIES TO RESOLVE THE CONFLICTS (F.9. CALIFORNIA DEPARTMENT OF FISH AND GAME, CALIFORNIA COASTAL COMMISSION, ARMY CORPS OF ENGINEERS, OFFICE OF HISTORIC PRESERVATION, COUNTY OF SAN LUIS OBISPO).

4. CUL T/MM-1 UPON PREPARATION OF GRADING AND CONSTRUCTION PLANS FOR THE RIDGE TRAIL. FOREST LOOP TRAIL MEANDER TRAIL, CREEK TO FOREST TRAIL, SANTA ROSA CREEK TRAIL (WEST), AND CREEK TO RIDGE TRAIL AND PRIOR TO APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO FOR THESE TRAILS. THE CCSD OR ITS DESIGNEE SHALL SUBMIT PLANS SHOWING THE AVOIDANCE OF KNOWN ARCHAEOLOGICAL SITES. THE PLAN SHALL NOTE THE BOUNDARIES OF THE SITE AS AN "ENVIRONMENTALLY SENSITIVE AREA" (ESA), AND SHALL INCLUDE A 50-FOOT BUFFER AROUND THE ESA. NO GRADING, STORAGE OF MATERIALS OR EQUIPMENT, OR USE OF EQUIPMENT SHALL OCCUR WITHIN THE FSA OR FSA BUFFFR.

IF DUF TO OTHER SIGNIFICANT ENVIRONMENTAL CONSTRAINTS, ANY KNOWN ARCHAEOLOGICAL SITES (ESAS) CANNO FEASIBLY BE AVOIDED, THE CCSD OR ITS DESIGNEE SHALL RETAIN A COUNTY-APPROVED, QUALIFIED SUBSURFACE ARCHAEOLOGIST TO CONDUCT A PHASE II SUBSURFACE SURVEY. THE PHASE II SUBSURFACE SURVEY SHALL PROVIDE RECOMMENDATIONS, IF NECESSARY, FOR FURTHER STUDY, WHICH MAY INCLUDE A PHASE III DATA RECOVERY PROGRAM THE CCSD OR ITS DESIGNEE SHALL IMPLEMENT THE RECOMMENDATIONS PROPOSED IN THE PHASE IL SURSURFACE SURVEY

25. CULT/MM-2 PRIOR TO APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO (OR PRIOR TO APPROVAL OF FINAL PLANS BY THE CCSD) FOR TRAIL CONSTRUCTION ON THE FRP. THE CCSD OR ITS DESIGNEE SHALL SUBMIT A MONITORING PLAN, PREPARED BY A SUBSURFACE QUALIFIED ARCHAEOLOGIST, FOR THE REVIEW AND APPROVAL BY THE COUNTY ENVIRONMENTAL COORDINATOR. IF A COUNTY PERMIT IS NOT REQUIRED, THE PLAN SHALL BE APPROVED BY THE CCSD. THE MONITORING PLAN SHALL BE INTEGRATED WITH OTHER REQUIRED SITE SPECIFIC MONITORING PLANS AND THE SWPPP (BIO/MM-1, BIO/MM-2, AND BIO/MM-3) AND SHALL INCLUDE AT A MINIMUM WITH REGARD TO CULTURAL

LIST OF QUALIFIED CULTURAL RESOURCES PERSONNEL INVOLVED IN THE MONITORING ACTIVITIES:

DESCRIPTION OF HOW THE CULTURAL RESOURCES MONITORING SHALL OCCUR; DESCRIPTION OF FREQUENCY OF MONITORING (EG., FULL-TIME, PART TIME, SPOT CHECKING);

DESCRIPTION OF WHAT RESOURCES ARE EXPECTED TO BE ENCOUNTERED: DESCRIPTION OF CIRCUMSTANCES THAT WOULD RESULT IN THE HALTING OF WORK AT THE PROJECT SITE (E.G., WHAT IS CONSIDERED "SIGNIFICANT" ARCHAEOLOGICAL RESOURCES?); DESCRIPTION OF PROCEDURES FOR HALTING WORK ON THE SITE AND NOTIFICATION PROCEDURES; DESCRIPTION OF MONITORING REPORTING PROCEDURES

26. CUL T/MM-5 PRIOR TO PREPARATION OF GRADING AND CONSTRUCTION PLANS FOR THE VICTORIA LANE TRAIL. WALLBRIDGE TRAIL, AND TERRACE TO RIDGE TRAIL AND PRIOR TO APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO FOR THESE TRAILS, THE CCSD OR ITS DESIGNEE SHALL SUBMIT PLANS SHOWING THE AVOIDANCE OF KNOWN ARCHAFOLOGICAL SITES. THE PLAN SHALL NOTE THE BOUNDARIES OF THE SITE AS AN ESA AND SHALL INCLUDE A 50-FOOT BUFFER AROUND THE ESA. NO GRADING, STORAGE OF MATERIALS OR EQUIPMENT, OR USE OF EQUIPMENT SHALL OCCUR

27. GEO/MM-2 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO, PRIOR TO SITE DISTURBANCE, AND DURING MANAGEMENT OF THE FISCALINI RANCH PRESERVE (FRP), THE CCSD OR ITS DESIGNEE SHALL IMPLEMENT THE FOLLOWING MEASURES: IMPLEMENT SOIL STABILIZATION AND EROSION PREVENTION MEASURES IDENTIFIED IN THE PUBLIC ACCESS AND MANAGEMENT PLAN (RRM, 2003) FOR THE SEACLIFT GULLY AND PORTIONS OF THE BLUFF TRAIL. PLANS IN CONJUNCTION WITH THE NATURAL RESOURCES CONSERVATION SERVICE (NRCS) SHALL BE DEVELOPED FOR THE

THE STREAM BANK RESTORATION PROJECT ALONG SANTA ROSA CREEK WEST OF HIGHWAY 1 SHALL BE MONITORED AND FVALUATED TO DETERMINE ITS EFFECTIVENESS. ADDITIONAL RESTORATION AND BANK STABILIZATION EFFORTS WITHIN SANTA ROSA CREEK SHALL BE IMPLEMENTED BASED ON CONSULTATION WITH THE NATURAL RESOURCE CONSERVATION SERVICE (NRCS) OR RESOURCE CONSERVATION DISTRICT (RCD); ADDITIONAL REGULATORY AGENCY CONSULTATION SHALL BE IMPLEMENTED WITHIN FEDERAL AND STATE JURISDICTIONAL AREAS INCLUDING THE CALIFORNIA DEPARTMENT OF FISH AND GAME (CDFG), REGIONAL WATER QUALITY CONTROL BOARD (RWQCB), AND ARMY CORPS OF ENGINEERS (ACOE). STREAMBANK RESTORATION PLANS SHALL BE DEVELOPED TO CONTROL BANK EROSION ON THE SANTA ROSA CREEK EAST BANK UPSTREAM OF THE PREVIOUSLY RESTORED BANK.

. REO/MM-3 UPON APPLICATION FOR CONSTRUCTION PERMITS TO THE COUNTY OF SAN LUIS OBISPO, PRIOR TO SIT DISTURBANCE, AND DURING MANAGEMENT OF THE FISCALINI RANCH PRESERVE (FRP), THE CCSD OR ITS DESIGNEE SHALL IMPLEMENT THE FOLLOWING MEASURES: IMPLEMENT SOIL STABILIZATION AND EROSION PREVENTION MEASURES IDENTIFIED IN THE PUBLIC ACCESS AND MANAGEMENT PLAN (RRM. 2003). IF PROPOSED, FINAL DESIGN PLANS FOR THE CREEK TO RIDGE TRAIL SHALL DEMONSTRATE THAT THE TRAIL ALIGNMENT IS LOCATED OVER LESS STEEP AREAS, AND SHALL INCLUDE THE USE OF WATER BARS WHERE NEEDED.

29. GEO/MM-4 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO, AND PRIOR TO SITE DISTURBANCE, FOR DEVELOPMENT OF THE TERRACE TO RIDGE TRAIL AND MAINTENANCE OF THE CREEK TO RIDGE TRAIL, THE CCSD OR ITS DESIGNEE SHALL IMPLEMENT APPROPRIATE CONSTRUCTION METHODS (I.E., AVOID SATURATED AREAS, INSTALL BRIDGES OR RAISED BOARDWALKS, MAINTAIN DRAINAGE PATTERNS, ETC.) WHERE TRAILS CROSS WET, BOGGY AREAS BELOW SPRINGS AND SEEPS.

30. GEO/MM-5 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO, AND PRIOR TO SITE DISTURBANCE. THE CCSD OR ITS DESIGNEE SHALL PREPARE TRAIL PLANS SHOWING THE USE OF BOARDWALKS OR ENGINEEREI BASE ALONG THE TRAILS WHERE SEVERELY CRACKED SOILS ARE PRESENT. ANY ASPHALT CONCRETE PAVEMENT (IF PROPOSED SHALL BE DESIGNED WITH SUFFICIENT BASE MATERIAL AND DEPTH TO PREVENT EFFECTS OF EXPANSIVE SOILS. IF CONSTRUCTION OF BOARDWALKS OR ENGINEERED BASE IS NOT FEASIBLE, THE CCSD OR ITS DESIGNEE SHALL PREPARE AND IMPLEMENT A SITE SPECIFIC MAINTENANCE PLAN TO ENSURE SAFE TRAIL SURFACES. THE PLAN SHALL IDENTIFY THE PERSON(S) RESPONSIBLE AND SCHEDULE FOR MAINTENANCE, AND PROPOSED ACTIVITIES FOR TRAIL IMPROVEMENTS.

. GEO/MM-8 UPON APPLICATION FOR CONSTRUCTION PERMITS FOR THE SANTA ROSA CREEK TRAIL, AND PRIOR TO SITE DISTURBANCE, THE CCSD OR ITS DESIGNEE SHALL IMPLEMENT THE FOLLOWING MEASUR RUNOFF FROM HIGHWAY 1 SHALL BE CONVEYED AWAY FROM THE SANTA ROSA CREEK TRAIL BY TIGHTLINING A DRAIN PIPE TO THE BASE OF THE STREAM BANK. FOR THE PORTION OF THE TRAIL CROSSING LOCATED UNDER HIGHWAY 1, THE TRAIL DESIGN SHALL PROVIDE ADEQUATE HEAD CLEARANCE FOR HIKERS, AND A STABLE CROSSING OVER THE RIPRAP, PURSUANT TO REGULATORY AND RESPONSIBLE AGENCY REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE CALIFORNIA DEPARTMENT OF

TRANSPORTATION AND CALIFORNIA DEPARTMENT OF FISH AND GAME.

32. GEO/MM-9 UPON APPLICATION FOR CONSTRUCTION PERMITS TO IMPLEMENT THE COMMUNITY PARK MASTER PLAN AND PRIOR TO SITE DISTURBANCE. THE CCSD OR ITS DESIGNEE SHALL CONSULT WITH THE COLINTY OF SAN LUIS. OBISPO TO STABILIZE THE OFFSITE DRAINAGE SWALE IN THE VICINITY OF PINEY WAY. THE APPLICANT SHALL ALSO IMPLEMENT THE STORM-DRAIN SYSTEM DESCRIBED IN THE COMMUNITY PARK MASTER PLAN GRADING AND DRAINAGE CONCEPT (FIRMA, 2006) TO CAPTURE RUNOFF FROM BOTH WATERSHEDS IN THIS AREA AND CONVEY RUNOFF ACROSS THE SITE TO SANTA ROSA CREEK. THE CONDITION OF THE HILLSIDE VEGETATION SHALL BE MONITORED PRIOR TO FINALIZING PLANS FOR THE STORM-DRAIN SYSTEM.

3. GEOLMM-10 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO, AND PRIOR TO SIT STURBANCE, THE CCSD OR-ITS DESIGNEE SHALL RETAIN A COUNTY APPROVED, QUALIFIED GEOLOGIST TO PREPARE AND SUBMIT A PROBABILISTIC SEISMIC HAZARD ANALYSIS. THE ANALYSIS SHALL DETERMINE THE DESIGN-BASIS EARTHOUAKE PARAMETERS FOR THE BUILDING SITES PROPOSED IN THE COMMUNITY PARK MASTER PLAN. RECOMMENDATIONS AND

4. GEOLMM-11 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO, AND PRIOR TO SITE DISTURBANCE, THE CCSD OR ITS DESIGNEE SHALL RETAIN A COUNTY APPROVED, QUALIFIED GEOLOGIST TO PREPARE ANI SUBMIT A SUBSURFACE INVESTIGATION OF THE SITE. THE INVESTIGATION REPORT SHALL ASSESS THE POTENTIAL FOR LIQUEFACTION. BUILDING DESIGN PARAMETERS SHALL BE BASED ON THE RESULTS OF THE SUBSURFACE INVESTIGATION. BUILDING FOUNDATIONS SHALL BE FOUNDED ON COMPETENT, NATIVE MATERIAL, NOT SUBJECT TO LIQUEFACTION.

5. GEOLMM-12 PRIOR TO SITE DISTURBANCE AND DURING MANAGEMENT OF THE FRP. THE CCSD. OR ITS DESIGNEE, SHALL IMPLEMENT STREAM BANK RESTORATION PROJECTS WITHIN SANTA ROSA CREEK. RESTORATION EFFORTS SHALL BE BASED ON CONSULTATION WITH THE NATURAL RESOURCES CONSERVATION SERVICE AND ALL OTHER APPLICABLE RESOURCE AGENCIES INCLUDING THE CALIFORNIA DEPARTMENT OF FISH AND GAME, REGIONAL WATER QUALITY CONTROL BOARD, AND ARMY CORPS OF ENGINEERS.

36. HM/MM-1 PRIOR TO APPLICATION FOR CONSTRUCTION PERMITS, AND PRIOR TO SITE DISTURBANCE, THE CCSD SHAL COORDINATE WITH THE SHERIFF'S DEPARTMENT TO INCORPORATE "CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN" STANDARDS TO THE FACILITY AND AMENITY DESIGN. WHERE APPLICABLE.

HM/MM-4 UPON APPLICATION FOR A CONSTRUCTION PERMIT TO DEVELOP THE COMMUNITY PARK SPORTS FIELDS. THE CCSD SHALL PREPARE AN INTEGRATED PEST MANAGEMENT (IPM) PLAN TO REDUCE THE NEED FOR FERTILIZERS, HERBICIDES, AND OTHER CHEMICALS. IPM GUIDELINES ARE PROVIDED BY THE STATE GREEN CALIFORNIA BEST PRACTICES MANUAL (WWW.GREEN.CA.GOV). THE PLAN SHALL INCLUDE. BUT NOT BE LIMITED TO. THE FOLLOWING ELEMENTS: CULTURAL CONTROL, INCLUDING THE SELECTION OF DISEASE-RESISTANT PLANT VARIETIES; PROPER IRRIGATION FERTILIZATION, AND PRUNING; AND PLANTING AT THE RIGHT TIME OF YEAR.

PHYSICAL CONTROL, INCLUDING CHANGING PHYSICAL CONDITIONS (I.E., TEMPERATURE, LIGHT, OR HUMIDITY) TO PREVENT PEST PROBLEMS, SUCH AS USING LANDSCAPE FABRIC TO SHADE OUT WEEDS AND PRUNING DENSE PLANTS TO ALLOW BETTER AIR CIRCULATION AND THUS PREVENT DISEASE. MECHANICAL CONTROL, INCLUDING MANAGING PESTS THROUGH MANUAL LABOR OR SIMPLE OBJECTS, DEVICES, OR FOUIPMENT SUCH AS USING HANDHELD PROPANE FLAMING LINITS THAT COOK WEEDS, INSTALLING MOWING STRIPS AND UNDERLAYMENTS, AND FASTENING COPPER BANDS AROUND TREE TRUNKS OR PLANTERS TO EXCLUDE SNAILS AND SLUGS. BIOLOGICAL CONTROL, INCLUDING THE USE OF BENEFICIAL ORGANISMS TO REDUCE PEST POPULATIONS. BENEFICIAL ORGANISMS INCLUDE PARASITIC INSECTS, AND PREDACEOUS INSECTS, MITES, AND SPIDERS; BATS; BIRDS; AMPHIBIANS

REDUCED-RISK PESTICIDES DON'T ENDANGER LIVING ORGANISMS OR THE ENVIRONMENT, IDEALLY, THEY BREAK DOWN EASILY, HAVE NARROW SPECIFICITY, DO NOT KILL NATURAL ENEMIES, AND DO NOT VOLATILIZE AROUND PEOPLE EXAMPLES OF REDUCED-RISK PESTICIDES USED FOR LANDSCAPING INCLUDE THE MICROBIAL INSECTICIDE, BACILLUS THURINGIENSIS HERRICIDES AND INSECTICIDES THAT CONTAIN MINT OR CLOVE OIL POTASSILIM BICARRONATE FOR PLANT MILDEWS, HORTICULTURAL OIL FOR SUCKING INSECTS, AND IF ABSOLUTELY NECESSARY, SPOT-SPRAYED

DRAINAGE PLANS INCORPORATING THE USE OF BIOSWALES (OR A SIMILAR METHOD) TO FACILITATE THE FLOW OF STORMWATER TOWARDS SANTA ROSA CREEK. THE BIOSWALES (OR SIMILAR METHOD) SHALL INCLUDE BEST MANAGEMENT PRACTICES TO AVOID EROSION AND SCOUR, AND SHALL INCLUDE A METHOD FOR FILTERING HYDROCARBONS, SEDIMENT AND OTHER POTENTIAL POLLUTANTS FROM STORMWATER RUNOFF. . HYD/MM-3 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO, AND PRIOR TO SITE

38. HYD/MM-2 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO, AND PRIOR TO SITE

DISTURBANCE FOR DEVELOPMENT OF THE EAST FRP. THE CCSD OR ITS DESIGNEE SHALL SUBMIT PRELIMINARY GRADING AND

DISTURBANCE. THE CCSD OR ITS DESIGNEE SHALL SUBMIT PLANS DEMONSTRATING THAT NO BUILDINGS SHALL BE LOCATED

WITHIN THE 100-YEAR FLOOD ZONE. OR THAT ANY STRUCTURES WOULD BE LOCATED ONE FOOT ABOVE THE 100-YEAR FLOOD

LOCATE PORTABLE GENERATORS, AIR COMPRESSORS, ETC. AWAY FROM SENSITIVE NOISE RECEPTORS: LIMIT GROUPING MAJOR PIECES OF EQUIPMENT OPERATING IN ONE AREA TO THE GREATEST EXTENT FEASIBLE; PLACE HEAVILY TRAFFICKED AREAS SUCH AS THE MAINTENANCE YARD, EQUIPMENT, TOOLS, AND OTHER CONSTRUCTION ORIENTED OPERATIONS IN LOCATIONS THAT WOULD BE THE LEAST DISRUPTIVE TO SURROUNDING SENSITIVE NOISE RECEPTORS: USE NEWER EQUIPMENT THAT IS QUIETER AND ENSURE THAT ALL EQUIPMENT ITEMS HAVE THE MANUFACTURERS'

40. N/MM-2 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO. THE CCSD OR PROJECT

BY COUNTY ORDINANCE:

CONCERNING THE CONSTRUCTION SCHEDULE;

SHIELD ESPECIALLY LOUD PIECES OF STATIONARY CONSTRUCTION EQUIPMENT:

DEVELOPER SHALL SUBMIT A NOISE REDUCTION PLAN PREPARED BY A QUALIFIED ACQUISTICAL CONSULTANT FOR REVIEW AND

APPROVAL BY THE COUNTY PLANNING DEPARTMENT. THE NOISE REDUCTION PLAN SHALL INCLUDE BUT IS NOT LIMITED TO THE

LIMIT ALL PHASES OF CONSTRUCTION TO THE HOURS OF 7:00 AM TO 9:00 PM MONDAY THROUGH FRIDAY AS REQUIRED

REGULAR NOTIFICATION OF ALL EXISTING AND FUTURE RESIDENCES WITHIN 1,000 FEET OF THE SITE BOUNDARY

RECOMMENDED NOISE ABATEMENT MEASURES, SUCH AS MUFFLERS, ENGINE COVERS, AND ENGINE VIBRATION ISOLATORS INTACT AND OPERATIONAL INTERNAL COMBUSTION ENGINES USED FOR ANY PURPOSE ON OR RELATED TO THE JOB SHALL BE EQUIPPED WITH A MUFFLER OR BAFFLE OF A TYPE RECOMMENDED BY THE MANUFACTURER; CONDUCT WORKER-TRAINING MEETINGS TO EDUCATE AND ENCOURAGE NOISE AWARENESS AND SENSITIVITY. THIS TRAINING SHOULD FOCUS ON WORKER CONDUCT WHILE IN THE VICINITY OF SENSITIVE RECEPTORS (I.E., MINIMIZING AND LOCATING THE USE OF CIRCULAR SAWS IN AREAS ADJACENT TO SENSITIVE RECEPTORS AND BEING MINDFUL OF SHOUTING AND THE LOUD USE OF ATTENTION DRAWING LANGUAGE): AND . NOTIFY SURROUNDING RESIDENCES IN ADVANCE OF THE CONSTRUCTION SCHEDULE WHEN UNAVOIDABLE CONSTRUCTION NOISE AND UPCOMING CONSTRUCTION ACTIVITIES LIKELY TO PRODUCE AN ADVERSE NOISE ENVIRONMENT ARE EXPECTED. NOTICING SHALL PROVIDE PHONE NUMBER OF THE PROJECT MANAGER, CONSTRUCTION FOREMAN, AND ANY OTHER PERTINENT PROJECT TEAM MEMBERS. THIS NOTICE SHALL BE GIVEN ONE WEEK IN ADVANCE. AND AT A MINIMUM OF ONE DAY IN ADVANCE IF ANTICIPATED ACTIVITIES HAVE CHANGED (I.E., NOTICE IN LOCAL PUBLICATION, TEMPORARY SIGNAGE POSTINGS, ETC.). PROJECT REPRESENTATIVE SHALL VERBALLY NOTIFY ALL SURROUNDING RESIDENTIAL OWNERS IF ONE

. N/MM-3 UPON APPLICATION FOR A CONSTRUCTION PERMITS FROM THE COUNTY OF SAN LUIS OBISPO. THE CCSD SHALL INCORPORATE THE FOLLOWING OPERATIONAL STANDARDS INTO THE COMMUNITY PARK MASTER PLAN: ALL LOUDSPEAKERS AND OR AMPLIFICATION OF SOUND SHALL BE PROHIBITED. THE VOLUME OF ANY EVENT SHOULD BE LIMITED TO THE IMMEDIATE AREA OF THE EVENT AND SHALL NOT EXCEED A MAXIMUM NOISE LEVEL OF 70 DBA AS MEASURED FROM THE PROPERTY LINE. THE CCSD SHALL AVOID THE USE OF GAS-POWERED TURF MOWERS, AND SHALL ENCOURAGE THE USE OF ELECTRIC

42. PSU/MM-1 UPON APPLICATION FOR CONSTRUCTION PERMITS. AND PRIOR TO SITE DISTURBANCE FOR TRAIL DEVELOPMENT. THE TRAIL SYSTEM ON THE WEST FRP SHALL BE CLEARLY MARKED WITH SIGNS DENOTING THE TRAIL NAME, NUMBER, AND MILEAGE FROM THE TRAILHEAD TO ALLOW VISITORS TO QUICKLY AND EASILY INFORM RESPONDERS OF THEIR WHEREABO IN THE EVENT OF AN EMERGENCY. SIGNAGE SHALL BE DEVELOPED IN ACCORDANCE WITH THE FRP SIGNAGE PLAN, AND IN CONSULTATION WITH THE FIRE CHIEF.

3. PSU/MM-5 UPON APPLICATION FOR CONSTRUCTION PERMITS AND PRIOR TO SITE DISTURBANCE FOR TRAIL DEVELOPMENT THE FRP SIGN PROGRAM SHALL INCLUDE SIGNAGE STATING THE FOLLOWING, OR SIMILAR LANGUAGE: "NO FIRE OF ANY KIND SHALL BE ALLOWED ON THE FRP." SIGNAGE SHALL BE PLACED WITHIN PARKING AREAS AND AT TRAILHEADS INFORMING USERS

14. PSIJ/MM-7 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY FOR THE COMMUNITY PARK ON THE FAST FRP. THE CCSD OR ITS DESIGNEE SHALL SUBMIT A LIGHTING PLAN SHOWING THE USE OF SECURITY LIGHTING. PARKING AREAS THROUGHOUT THE FRP SHALL BE DESIGNED CONSISTENT WITH THE COUNTY SHERIFF'S DEPARTMENT PUBLICATION "CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN" (CPTED) WHERE APPLICABLE.

45. TC/MM-1 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY, AND PRIOR TO SITE DISTURBANCE FOR TRAIL IMPROVEMENTS, THE MASTER PLAN SHALL INCLUDE THE INSTALLATION OF BIKE RACKS AT SELECTED TRAILHEADS AT THE BOUNDARY OF THE WEST FFRP TO ENCOURAGE ALTERNATIVE TRANSPORTATION METHODS. SELECTED TRAILHEADS SHALL INCLUDE, BUT NOT BE LIMITED TO. THE BLUFF TRAIL, RIDGE TRAIL, WALL BRIDGE TRAIL, AND SANTA ROSA CREEK TRAIL

6. TC/MM-4 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY, AND PRIOR TO SITE DISTURBANCE FOR TRAIL IMPROVEMENTS, THE MASTER PLAN SHALL INCLUDE A PARKING SIGNAGE PROGRAM IN CONSULTATION WITH THE COUNT PUBLIC WORKS DEPARTMENT. THE SIGNAGE PROGRAM SHALL GUIDE VISITORS REGARDING APPROPRIATE PARKING, AND SHALL BE REVIEWED FOR CONCURRENCE BY THE FRIENDS OF THE FISCALINI RANCH PRESERVE AS PART OF THE FRP SIGN AGE PLAN. 47. TC/MM-5 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY, AND PRIOR TO SITE DISTURBANCE TO IMPLEMENT THE COMMUNITY PARK MASTER PLAN, THE CCSD OR ITS DESIGNEE SHALL SHOW THE INSTALLATION OF BIKE RACKS

WITHIN THE COMMUNITY PARK ON CONSTRUCTION PLANS. THE BIKE RACKS SHALL BE INSTALLED UPON THE FIRST PHASE OF

48. TC/MM-8 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY, THE CCSD SHALL CONTRIBUTE TO THE NORTH

49. WS/MM-1 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY FOR DEVELOPMENT OF SPORTS FIELDS, CONSTRUCTION OF RESTROOMS, AND INSTALLATION OF LANDSCAPING, AND PRIOR TO SITE DISTURBANCE, THE CCSD OR PROJECT DEVELOPER SHALL PREPARE PLANS SHOWING THE USE OF INDOOR AND OUTDOOR WATER CONSERVATION STRATEGIES AND TECHNIQUES TO HELP OFFSET THE PROPOSED ANTICIPATED WATER DEMAND. THESE MEASURES INCLUDE BUT

LOW-WATER USE PLANT MATERIALS SELECTED FROM AN APPROVED COUNTY PLANT LIST, AND A LANDSCAPE IRRIGATION PLAN INDICATING THE METHOD FOR ACHIEVING LOW VOLUME, HIGH EFFICIENCY IRRIGATION (I.E., DRIP IRRIGATION SYSTEMS WITH AUTOMATIC CONTROLLERS AND AUTO RAIN SHUT-OFF DEVICES). IF NATURAL TURF IS PROPOSED, THE CCSD SHALL SUBMIT PLANS SHOWING THE USE OF AN EVAPORATIVE CONTROL SYSTEM (OR SIMILAR METHOD) FOR IRRIGATION. INCORPORATE USE OF PIT TOILETS OR COMPOSTING TOILETS IN RESTROOMS, PORTABLE RESTROOMS, OR CLOSURE OF

LANDSCAPE PLANS SHALL SHOW THE EXTENT OF PERMEABLE AND IMPERVIOUS LANDSCAPE MATERIALS, THE USE OF

50. WS/MM-3 PRIOR TO CCSD BOARD APPROVAL OF THE COMMUNITY PARK MASTER PLAN. IF ONSITE WELLS ARE PROPOSED FOR THE WATER SOURCE, THE CCSD SHALL IDENTIFY WHICH WELLS WOULD BE UTILIZED (EXISTING AND/OR PROPOSED), CONSISTENT WITH THE ADOPTED DEED OF CONSERVATION EASEMENT

INCORPORATE THE USE OF HAND SANITIZERS TO AVOID THE USE OF WATER FOR RESTROOM SINKS.

WS/MM-4 PRIOR TO CCSD BOARD APPROVAL OF CONSTRUCTION PLANS FOR IMPLEMENTATION OF THE COMMUNITY PARK MASTER PLAN. IF ONSITE WELLS ARE PROPOSED FOR THE WATER SOURCE. THE CCSD SHALL DEVELOP PLANS FOR A NEW WELL FROM RIPARIAN WATER SOURCES ON THE EAST FRP. PROPOSED PLANS SHALL BE REVIEWED AND APPROVED BY THE FRIENDS OF THE FISCALINI RANCH PRESERVE AND STATE COASTAL CONSERVANCY, AND THE MANAGEMENT PLAN SHALL BE AMENDED PRIOR TO WELL DEVELOPMENT. THE WELL SHALL BE DESIGNED TO AVOID STREAM FLOW IMPACTS, AND PLANS SHALL INCLUDE A SANITARY SEAL TO A CLAY BED BELOW THE ELEVATION OF THE CREEK BED. AT LEAST 20 FEET IN DEPTH AND A MINIMUM OF 50 FEET FROM THE CREEK BANK, THE WELL SHALL BE PLIMP TESTED DURING EXTENDED DROUGHT CONDITIONS (E.G., 79 PERCENT OR LESS OF AVERAGE RAINFALL FOR A MINIMUM PERIOD OF TWO YEARS) TO DOCUMENT WHETHER THERE WOULD BE ANY POTENTIAL EFFECTS TO STREAM FLOW FROM DURING OPERATION OF THE WELL. USE OF ON-SITE WELLS SHALL BE PROHIBITED IF TESTS DEMONSTRATE ANY AFFECT ON STREAM-FLOW.

WS/MM-5 UPON APPLICATION FOR CONSTRUCTION PERMITS FROM THE COUNTY FOR DEVELOPMENT OF THE SPORTS FIELDS, IF NATURAL TURF IS PROPOSED, THE CCSD SHALL DEMONSTRATE HOW RECYCLED WATER WOULD BE TREATED TO ENSURE THAT IT WOULD NOT INCREASE THE GROUNDWATER SALINITY BEYOND BACKGROUND CONCENTRATIONS (E.G.; USE OF LOW PRESSURE REVERSE OSMOSIS AS PART OF THE RECYCLED WATER EFFLUENT TREATMENT PROCESS. ONSITE INFRASTRUCTURE PLANS DEMONSTRATING HOW TREATMENT OF IRRIGATION WATER WOULD OCCUR TO LOWER CONCENTRATIONS (250 PARTS PER MILLION) OF SODIUM AND CHLORIDE). THE CCSD SHALL SUBMIT A PROPOSED WATER MONITORING AND TESTING

CONDITIONS TO BE COMPLETED PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT:

PROGRAM TO BE CONDUCTED FOR THE LIFE OF THE PROJECT.

DETERMINED THAT THEIR PERMIT IS NOT REQUIRED.

53. PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT, THE APPLICANT SHALL PAY ALL APPLICABLE SCHOOL AND PUBLIC FACILITIES 54. PRIOR TO ISSUANCE OF ANY REQUIRED CONSTRUCTION PERMITS. THE APPLICANT SHALL PROVIDE EVIDENCE SATISFACTORY TO

THE DEPARTMENT OF PLANNING AND BUILDING THAT THE ARMY CORPS OF ENGINEERS AND THE CALIFORNIA DEPARTMENT OF

FISH AND GAME ENVIRONMENTAL PERMITS HAVE EITHER BEEN SECURED OR THAT THE REGULATORY AGENCY HAS

MITIGATION MEASURES 55. BIO/MM-2 PRIOR TO CONSTRUCTION. THE CCSD OR ITS DESIGNEE SHALL PREPARE A PROJECT SPECIFIC ENVIRONMENTAL MONITORING PLAN COORDINATED WITH MITIGATION MEASURES WITHIN THIS EIR, AND SHALL PROVIDE FUNDING FOR A OUALIFIED ENVIRONMENTAL MONITOR FOR THE CONSTRUCTION PHASES OF THE PROJECT TO ENSURE COMPLIANCE WITH ELR MITIGATION MEASURES, AND ANY APPLICABLE AGENCY PERMIT CONDITIONS. THE MONITOR SHALL BE RESPONSIBLE FOR (1) ENSURING THAT PROCEDURES FOR VERIFYING COMPLIANCE WITH ENVIRONMENTAL MITIGATIONS ARE FOLLOWED; (2) LINES OF COMMUNICATION AND REPORTING METHODS; (3) DAILY AND WEEKLY REPORTING OF COMPLIANCE; (4) CONSTRUCTION REW TRAINING REGARDING ENVIRONMENTALLY SENSITIVE AREAS: (5) AUTHORITY TO STOP WORK: AND (6) ACTION TO BE

TAKEN IN THE EVENT OF NON-COMPLIANCE. MONITORING SHALL BE AT A FREQUENCY AND DURATION DETERMINED BY THE

AFFECTED AGENCIES (E.G., ARMY CORPS OF ENGINEERS, REGIONAL WATER OUALITY CONTROL BOARD, CALIFORNIA

5. BIO/MM-14 PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES, INCLUDING TRAIL IMPROVEMENTS REQUIRING GROUND DISTURBANCE AND/OR USE OF HEAVY EQUIPMENT, THE CCSD OR ITS DESIGNEE SHALL RETAIN A QUALIFIED BIOLOGIST TO CONDUCT A PRE-ACTIVITY SURVEY FOR ACTIVE NESTS. DENS. OR BURROWS. THE SURVEY SHALL BE CONDUCTED WITHIN 30 DAYS PRIOR TO PROPOSED SITE DISTURBANCE AND CONSTRUCTION ACTIVITIES. RESULTS OF THE SURVEY SHALL IMMEDIATELY BE SUBMITTED TO THE CDFG AS NECESSARY. THE SURVEY REPORT SHALL INCLUDE THE DATE OF THE SURVEY, METHODS OF INSPECTION, AND FINDINGS. DISTURBANCE OF ANY ACTIVE NEST, DEN, OR BURROW SHALL BE PROHIBITED. IF ACTIVE BURROWS OF MONTEREY DUSKY-FOOTED WOOD RATS ARE FOUND WITHIN PROPOSED DEVELOPMENT AREAS

DEPARTMENT OF FISH AND GAME. CALIFORNIA COASTAL COMMISSION. AND THE COUNTY OF SAN LUIS OBISPO).

DISTURBANCE SHALL OCCUR WITHIN THE BUFFER AREA UNTIL A MEMORANDUM OF UNDERSTANDING (MOU) IS OBTAINED FROM CDFG. AN ALTERNATIVE TO BUFFER AREA IS TO DISASSEMBLE NESTS BY HAND OUTSIDE OF THE NESTING SEASON (FEBRUARY THROUGH SEPTEMBER) AND ALLOW THE WOODRATS TO LEAVE THE SITE. IF THE PRE-CONSTRUCTION SURVEY FINDS POTENTIAL AMERICAN BADGER DENS. THEY SHALL BE INSPECTED TO DETERMINE WHETHER THEY ARE OCCUPIED. THE SURVEY SHALL COVER THE ENTIRE PROPERTY, AND SHALL EXAMINE BOTH OLD AND NEW DENS. IF POTENTIAL BADGER DENS ARE TOO LONG TO COMPLETELY INSPECT FROM THE ENTRANCE, A FIBER OPTIC SCOPE SHALL BE USED TO EXAMINE THE DEN TO THE END. IF A FIBER OPTIC SCOPE IS NOT AVAILABLE. OCCUPATION OF THE DEN CAN BE DETERMINED BY PARTIALLY OBSCURING THE DEN ENTRANCE WITH STICKS AND LEAVES TO INDICATE ANIMAL PASSAGE INTO AND OUT OF THE DEN AND DUSTING THE DEN ENTRANCE WITH A FINE LAYER OF DUST OR TRACKING MATERIAL FOR THREE CONSECUTIVE NIGHTS AND EXAMINING THE FOLLOWING MORNINGS FOR FOOTPRINTS INACTIVE DENS MAY BE EXCAVATED BY HAND WITH A SHOVEL TO PREVENT RE-USE OF DENS DURING CONSTRUCTION. IF BADGERS ARE FOUND IN DENS ON THE PROPERTY BETWEEN FEBRUARY AND JULY, NURSING YOUNG MAY BE PRESENT. TO VOID DISTURBANCE AND THE POSSIBILITY OF DIRECT TAKE OF ADULTS AND NURSING YOUNG, AND TO PREVENT BADGERS FORM BECOMING TRAPPED IN BURROWS DURING CONSTRUCTION ACTIVITY, NO GRADING SHALL OCCUR WITHIN 100 FFFT OF ACTIVE BADGER DENS BETWEEN FEBRUARY AND JULY. IF BADGER DENS ARE FOUND ON THE PROPERTY DURING THE

PRE-CONSTRUCTION SURVEY, THE CDFG WILDLIFE BIOLOGIST FOR THE AREA SHALL BE CONTACTED TO REVIEW CURRENT

DURING THE SURVEY, THE BIOLOGIST SHALL ESTABLISH AN APPROPRIATE BUFFER AREA TO PROTECT THE NEST(S). NO SITE

BIO/MM-16 AT LEAST TWO WEEKS PRIOR TO START OF TRAIL OR BRIDGE CONSTRUCTION WITHIN OR ADJACENT TO SANTA ROSA CREEK (WITHIN 100 FEET), THE CCSD SHALL RETAIN A QUALIFIED BIOLOGIST TO CONDUCT PRE-CONSTRUCTION SURVEYS WITHIN THE CONSTRUCTION AREAS TO DETERMINE THE PRESENCE OF SPECIAL-STATUS AQUATIC SPECIES. IN THE EVENT THA SPECIAL-STATUS SPECIES ARE OBSERVED WITHIN THE PROJECT SITE, THE APPROPRIATE AGENCIES SHALL BE CONTACTED FOR FURTHER CONSULTATION, IF ANY LIFE STAGE OF STEELHEAD, CALIFORNIA RED-LEGGED FROG. TIDEWATER GOBY, OR SOUTHWESTERN POND TURTLE IS FOUND AND THESE INDIVIDUALS ARE LIKELY TO BE KILLED OR INJURED BY WORK ACTIVITIES HE APPROVED BIOLOGIST(S) SHALL BE ALLOWED SUFFICIENT TIME TO MOVE THEM FROM THE SITE BEFORE WORK ACTIVITII BEGIN. THE BIOLOGIST(S) SHALL RELOCATE ANY STEELHEAD, CALIFORNIA RED-LEGGED FROG, TIDEWATER GOBY, O SOUTHWESTERN POND TURTLE THE SHORTEST DISTANCE POSSIBLE TO A LOCATION THAT CONTAINS SUITABLE HABITAT THAT WILL NOT BE AFFECTED BY THE ACTIVITIES ASSOCIATED WITH THE PROPOSED PROJECT. THE BIOLOGIST(S) SHALL MAINTAIN DETAILED RECORDS OF ANY INDIVIDUALS THAT ARE MOVED (I.E., SIZE, COLORATION, ANY DISTINGUISHING FEATURES, PHOTOGRAPHS [DIGITAL PREFERRED]) TO ASSIST HIM OR HER IN DETERMINING WHETHER TRANSLOCATED ANIMALS ARE RETURNING TO THE POINT OF CAPTURE. ONLY UNITED STATES FISH AND WILDLIFE SERVICE, NATIONAL MARINE FISHERIE SERVICE, AND CALIFORNIA DEPARTMENT OF FISH AND GAME-APPROVED BIOLOGISTS WORKING UNDER PROPER PERMIT AUTHORITY SHALL PARTICIPATE IN ANY ACTIVITIES ASSOCIATED WITH THE CAPTURE, HANDLING, AND MONITORING OF STEELHEAD, CALIFORNIA RED-LEGGED FROG, TIDEWATER GOBY, OR SOUTHWESTERN POND TURTLE.

58. BIO/MM-17 PRIOR TO CONSTRUCTION. AN APPROVED BIOLOGIST(S) SHALL CONDUCT A TRAINING SESSION FOR ALL CONSTRUCTION PERSONNEL AT A MINIMUM, THE TRAINING SHALL INCLUDE A DESCRIPTION OF STEEL HEAD, CALIFORNIA ED-LEGGED FROG. TIDEWATER GOBY, AND SOUTHWESTERN POND TURTLE AND THEIR HABITAT: THE SPECIFIC MEASURES THAT ARE BEING IMPLEMENTED TO CONSERVE THE SPECIES FOR THE CURRENT PROJECT; AND THE BOUNDARIES WITHIN WHICH THE PROJECT MAY BE ACCOMPLISHED. MEMBERS OF THE CONSTRUCTION CREWS SHALL LINDERSTAND ALL TERMS CONSTRAINTS, AND SPECIAL CONDITIONS PROVIDED BY, BUT NOT LIMITED TO, UNITED STATES FISH AND WILDLIFE SERVICE, NATIONAL MARINE FISHERIES SERVICE, ARMY CORPS OF ENGINEERS, CALIFORNIA DEPARTMENT OF FISH AND GAME, CALIFORNIA COASTAL COMMISSION, AND REGIONAL WATER QUALITY CONTROL BOARD, UPON COMPLETION OF THIS REVIEW AND UNDERSTANDING, EACH CONSTRUCTION CREW MEMBER SHALL SIGN A WORKER TRAINING FORM, THIS FORM SHALL BE PROVIDED WITH THE COMPLETION REPORT UPON COMPLETION OF PROJECT CONSTRUCTION.

59. BIO/MM-23 PRIOR TO ANY WORK WITHIN CREEK CHANNELS CONTAINING FLOWING WATER A STREAM DIVERSION AND

DEWATERING PLAN FOR EACH STREAM LOCATION SHALL BE PREPARED AND APPROVED BY NATIONAL MARINE FISHERIES

SERVICE, ARMY CORPS OF ENGINEERS, AND CALIFORNIA DEPARTMENT OF FISH AND GAME, AND THE STREAMBED WITHIN THE

WORK AREA SHALL BE DEWATERED. THE FORM AND FUNCTION OF THE DIVERSION AND ALL PUMPS INCLUDED IN TH DEWATERING STRATEGY SHALL BE DESIGNED TO ENSURE A DRY WORK ENVIRONMENT AND MINIMIZE IMPACTS TO AQUATIC. SPECIES. THE STREAM DIVERSION AND DEWATERING EFFORT SHALL BE CONDUCTED UNDER THE DIRECT AND CONTINUOUS UPERVISION OF A QUALIFIED BIOLOGIST TO ENSURE THE PROPER FORM AND FUNCTION OF THE DIVERSION.

60. BIO/MM-25 PRIOR TO CONSTRUCTION, IF CONSTRUCTION ACTIVITIES, USE OF HEAVY EQUIPMENT, OR TREE PRUNING OR REMOVAL ARE SCHEDULED TO OCCUR DURING THE TYPICAL BIRD NESTING SEASON (FEBRUARY 15 TO SEPTEMBER 1) A QUALIFIED BIOLOGIST SHALL BE RETAINED TO CONDUCT A PRECONSTRUCTION SURVEY (APPROXIMATELY ONE WEEK PRIOR TO CONSTRUCTION) TO DETERMINE PRESENCE/ABSENCE FOR TREE-NESTING BIRDS WITHIN RIPARIAN CORRIDORS AND WOODLAND AREAS, AND GROUND-NESTING BIRDS WITHIN ANNUAL GRASSLANDS ONSITE. IF NO NESTING ACTIVITIES ARE DETECTED WITHIN THE PROPOSED WORK AREA, NOISE-PRODUCING CONSTRUCTION ACTIVITIES OR TREE REMOVALS MAY PROCEED. IF NESTING ACTIVITY IS CONFIRMED DURING PRECONSTRUCTION NESTING SURVEYS OR AT ANY TIME DURING THE MONITORING OF CONSTRUCTION ACTIVITIES, WORK ACTIVITIES SHALL BE DELAYED WITHIN 500 FEET OF ACTIVE NESTS UNTIL THE YOUNG BIRDS HAVE FLEDGED AND LEFT THE NEST. IN ADDITION, THE RESULTS OF THE SURVEYS WILL BE PASSED MMEDIATELY TO THE CALIFORNIA DEPARTMENT OF FISH AND GAME, POSSIBLY WITH RECOMMENDATIONS FOR BUFFER ZONE CHANGES, AS NEEDED, AROUND INDIVIDUAL NESTS. TREE REMOVAL SHALL BE MONITORED FOR NESTING BIRDS AND DOCUMENTED BY THE BIOLOGICAL MONITOR REGARDLESS OF TIME OF YEAR.

61. BIO/MM-26 PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES, INCLUDING TRAIL IMPROVEMENTS REQUIRING GROUND DISTURBANCE AND/OR USE OF HEAVY EQUIPMENT. THE CCSD OR ITS DESIGNEE SHALL RETAIN A QUALIFIED WILDLIFE BIOLOGIST TO CONDUCT A PRE-ACTIVITY SURVEY FOR BURROWING OWL. THE SURVEY SHALL BE CONDUCTED WITHIN 3~-DAYS PRIOR TO SITE DISTURBANCE, IF GROUND DISTURBING ACTIVITIES ARE DELAYED OR SUSPENDED FOR MORE THAN 30 DAYS AFTER THE PRECONSTRUCTION SURVEY. THE SITE SHALL BE RESURVEYED. RESULTS OF THE SURVEY SHALL BE DOCUMENTED IN A REPORT AND SHALL INCLUDE THE DATE OF THE SURVEY. METHODS OF INSPECTION, AND FINDINGS, THE REPORT SHALL BE SUBMITTED TO THE CALIFORNIA DEPARTMENT OF FISH AND GAME (CDFG). IF NO BURROWING OWLS ARE FOUND TO OCCUPY HE SITE AT THAT TIME, NO FURTHER MEASURES WOULD BE NECESSARY UNLESS BURROWING OWLS ARE SUBSEQUENTLY OBSERVED AT THE PROJECT SITE. IN WHICH CASE THE FOLLOWING MITIGATION MEASURE WOULD BE IMPLEMENTED. IF BURROWING OWLS ARE FOUND WITHIN THE AREA PROPOSED FOR DISTURBANCE. THE CCSD OR ITS DESIGNEE SHALL IMMEDIATELY CONTACT THE CDFG AND IMPLEMENT ALL MEASURES IDENTIFIED IN THE "STAFF REPORT FOR MITIGATING IMPACTS TO THE BURROWING OWL" (CDFG, 1995), AND ANY ADDITIONAL MEASURES REQUIRED BY CDFG. BURROWING OWI BURROWS SHALL BE AVOIDED. NO DISTURBANCE SHALL OCCUR WITHIN 50 METERS OF OCCUPIED BURROWING OWL BURROWS DURING THE NON-BREEDING SEASON (SEPTEMBER 1 THROUGH JANUARY 31) OR WITHIN 75 METERS DURING THE BREEDING SEASON (FEBRUARY 1 THROUGH AUGUST 31).

62. CULT/MM-3 PRIOR TO SITE DISTURBANCE, THE APPLICANT SHALL RETAIN A QUALIFIED ARCHAEOLOGIST (APPROVED BY THE CSD AND COUNTY ENVIRONMENTAL COORDINATOR) AND NATIVE AMERICAN TO MONITOR ALL EARTH DISTURBING ACTIVITIES. PER THE APPROVED MONITORING PLAN. IF ANY SIGNIFICANT ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE FOUND DURING MONITORING, WORK SHALL STOP WITHIN THE IMMEDIATE VICINITY (PRECISE AREA TO BE DETERMINED BY THE ARCHAEOLOGIST IN THE FIELD) OF THE RESOURCE UNTIL SUCH TIME AS THE RESOURCE CAN BE EVALUATED BY AN ARCHAEOLOGIST AND ANY OTHER APPROPRIATE INDIVIDUALS. THE APPLICANT SHALL IMPLEMENT THE MITIGATION AS REQUIRED .BY THE ENVIRONMENTAL COORDINATOR.

63. CULT/MM-7 PRIOR TO SITE DISTURBANCE ASSOCIATED WITH THE CREEK TO FOREST TRAIL, SANTA ROSA CREEK TRAIL (WEST), AND CREEK TO RIDGE TRAIL, THE APPLICANT SHALL RETAIN A QUALIFIED HISTORICAL ARCHAEOLOGIST (APPROVED BY THE CCSD AND COUNTY ENVIRONMENTAL COORDINATOR) TO MONITOR ALL EARTH DISTURBING ACTIVITIES. PER THE APPROVED MONITORING PLAN, IF ANY SIGNIFICANT ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE FOUND DURING MONITORING. WORK SHALL STOP WITHIN THE IMMEDIATE VICINITY (PRECISE AREA TO BE DETERMINED BY THE ARCHAEOLOGIST IN THE FIELD) OF THE RESOURCE UNTIL SUCH TIME AS THE RESOURCE CAN BE EVALUATED BY AN ARCHAEOLOGIST AND ANY OTHER APPROPRIATE INDIVIDUALS. THE APPLICANT SHALL IMPLEMENT THE MITIGATION AS

CONDITIONS TO BE COMPLETED DURING PROJECT CONSTRUCTION: AES/MM-6 ALL MAINTENANCE WORK WITHIN THE FRP SHALL COMPLY WITH THE VISUAL APPEARANCE REQUIREMENTS OF THE VARIOUS SECTIONS OF THE PUBLIC ACCESS AND MANAGEMENT PLAN. SPECIAL ATTENTION SHALL BE GIVEN TO PAINT AND FIN ISH COLORS, IMPORTED FILL AND SURFACING MATERIALS, REPLACEMENT PLANTS, AND SOIL DISTURBANCE.

65. AES/MM-9 DURING RESTORATION ACTIVITIES ASSOCIATED WITH THE SEACLIFT GULLY, ALL TOPSOIL AND FILL MATERIAL USED FOR GULLY REPAIR AND EXPOSED TO VIEW SHALL BE SIMILAR IN COLOR AND BRIGHTNESS TO THE SOIL OF THE ADJACENT

NATIVE GROUND.

66. AQ/MM-2 PRIOR TO SITE DISTURBANCE, THE APPLICANT SHALL: OBTAIN A COMPLIANCE REVIEW WITH THE APCD PRIOR TO THE INITIATION OF ANY CONSTRUCTION ACTIVITIES; PROVIDE A LIST OF ALL HEAVY-DUTY CONSTRUCTION EQUIPMENT OPERATING AT THE SITE TO THE APCD. THE LIST SHALL INCLUDE THE MAKE, MODEL, ENGINE SIZE, AND YEAR OF EACH PIECE OF EQUIPMENT, THIS COMPLIANCE REVIEW WILL IDENTIFY ALL EQUIPMENT AND OPERATIONS REQUIRING PERMITS AND WILL ASSIST IN THE IDENTIFICATION OF SUITABLE EQUIPMENT FOR THE CATALYZED DIESEL PARTICULATE FILTER; AND,

APPLY FOR AN AUTHORITY TO CONSTRUCT FROM THE APCD.

67. AQ/MM-4 DURING CONSTRUCTION, THE APPLICANT SHALL MAINTAIN MONTHLY COMPLIANCE CHECKS THROUGHOUT THE CONSTRUCTION PHASE, VERIFYING THAT ALL EQUIPMENT AND OPERATIONS CONTINUE TO COMPLY WITH THE APCD REQUIREMENTS.

68. BIO/MM-5 TO AVOID EROSION AND DOWNSTREAM SEDIMENTATION, AND TO AVOID IMPACTS TO AQUATIC SPECIES, NO WORK WITHIN OR IMMEDIATELY ADJACENT TO ON-SITE DRAINAGES (WITHIN FIFTY FEET) SHALL OCCUR DURING THE RAINY SEASON (OCTOBER 15 THROUGH APRIL 30), UNLESS AUTHORIZED BY AN AFFECTED AGENCY (E.G., ARMY CORPS OF ENGINEERS, REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME, CALIFORNIA COASTAL COMMISSION, AND THE COUNTY OF SAN LUIS OBISPO).

69. BIO/MM-6 EQUIPMENT ACCESS AND CONSTRUCTION SHALL BE CONDUCTED FROM THE BANKS RATHER THAN FROM WITHIN CREEKS AND DRAINAGES UNLESS APPROVED OTHERWISE BY 404/401/1602 PERMIT CONDITIONS. NO EQUIPMENT SHALL BE STAGED AND NO TEMPORARY PLACEMENT OF FILL SHALL OCCUR IN CREEKS AND DRAINAGES.

70. BIO/MM-7 SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS THAT HAVE THE POTENTIAL FOR SIGNIFICANT RUNOFF DURING THE RAINY SEASON. ALL PROJECT-RELATED SPILLS OF HAZARDOUS MATERIALS WITHIN OR ADJACENT TO PROJECT SITES SHALL BE CLEANED UP IMMEDIATELY. SPILL PREVENTION AND CLEANUP MATERIALS SHALL BE ON-SITE AT ALL TIMES DURING CONSTRUCTION, CLEANING AND REFLIELING OF FOLIPMENT AND VEHICLES SHALL OCCUR ONLY WITHIN DESIGNATED STAGING AREAS. THE STAGING AREAS SHALL CONFORM TO STANDARD BEST MANAGEMENT PRACTICES APPLICABLE TO ATTAINING ZERO DISCHARGE OF STORMWATER RUNOFF. NO MAINTENANCE, CLEANING, OR FUELING OF EQUIPMENT SHALL OCCUR WITHIN WETLAND OR RIPARIAN AREAS. OR WITHIN FIFTY FEET OF SLICH AREAS. AT A MINIMUM, ALL PROJECT FOLIPMENT AND VEHICLES SHALL BE CHECKED AND MAINTAINED ON A DAILY BASIS TO ENSURE PROPER OPERATION AND TO AVOID POTENTIAL

71. BIO/MM-8 IMPACTS TO WETLAND OR RIPARIAN HABITATS RESULTING FROM PROJECT CONSTRUCTION SHALL BE MITIGATED THROUGH RESTORATION/ENHANCEMENT OF ADJACENT WETLAND AND RIPARIAN AREAS AT A MINIMUM OF A 2: 1 RATIO (TWO SOLIARE FEET OF RESTORED HARITAT FOR EACH SOLIARE FOOT OF DISTLIRRED HARITAT) OR GREATER, OR AS REQUIRED BY ANY APPLICABLE STATE OR FEDERAL PERMIT. RESTORATION/ENHANCEMENT SHALL CONSIST OF EXOTIC SPECIES REMOVAL. REVEGETATION WITH SUITABLE NATIVE SPECIES (NATIVE TO THE FRP), AND MAINTENANCE AND MONITORING OF THE ENHANCED AREAS PER THE CONDITIONS OF AGENCY PERMITS OBTAINED FOR THE PROJECT. A HABITAT REVEGETATION AND RESTORATION PLAN FOR THE PROJECT SHALL BE PREPARED IN CONSULTATION WITH THE CALIFORNIA DEPARTMENT OF FISH AND GAME AND THE ARMY CORPS OF ENGINEERS. A QUALIFIED RESTORATION BIOLOGIST AND/OR HORTICULTURALIST APPROVED BY THE CCSD SHALL BE RETAINED BY THE CCSD OR ITS DESIGNEE TO PREPARE THE HABITAT REVEGETATION AND RESTORATION PLAN. THE PLAN SHALL INCLUDE SUCCESS CRITERIA GOALS AND A FIVE-YEAR MONITORING SCHEDULE. THE QUALIFIED BIOLOGIST SHALL SUPERVISE SITE PREPARATION, TIMING, SPECIES UTILIZED, PLANTING INSTALLATION, MAINTENANCE. MONITORING, AND REPORTING OF THE REVEGETATION/RESTORATION EFFORTS.

72. BIO/MM-9 FOLLOWING COMPLETION OF GROUND-DISTURBING ACTIVITIES WITHIN OR IMMEDIATELY ADJACENT TO RIPARIAN OR WETLAND AREAS, ALL DISTURBED AND BARREN AREAS SHALL BE IMMEDIATELY REVEGETATED WITH APPROPRIATE NATIVE VEGETATION TO REDUCE THE RISK OF EROSION, PER THE REQUIREMENTS OF THE HABITAT REVEGETATION AND RESTORATION PLAN AND THE STORM WATER POLLUTION PREVENTION PLAN. AREAS EXPERIENCING TEMPORARY DISTURBANCE SHOULD BE REPLANTED WITH NATIVE SPECIES THAT ARE CHARACTERISTIC OF HABITATS IN THE PROJECT SITE AREA.

73. BIO/MM-11 IF DISTURBANCE OF SPECIAL-STATUS PLANTS OR NATIVE HABITATS LOCATED ON SITE CANNOT BE COMPLETELY AVOIDED THROUGH DESIGN MODIFICATION, IMPACTS SHALL BE QUANTIFIED BY NUMBER OF INDIVIDUALS AND BY AREA DISTURBED, AND A RARE PLANT MITIGATION PLAN SHALL BE PREPARED BY A QUALIFIED BIOLOGIST THAT SPECIFICALLY ADDRESSES IMPACTS TO AND APPROPRIATE MITIGATION AND CONSERVATION MEASURES FOR THOSE IMPACTS. THE PLAN SHALL IDENTIFY AREAS ON THE PROJECT SITE SUITABLE FOR SENSITIVE SPECIES HABITAT RESTORATION AND REVEGETATION. AND SHALL INCLUDE PLANTING METHODS, MAINTENANCE AND MONITORING REQUIREMENTS, AND SUCCESS CRITERIA. DEPENDING ON THE SPECIES AT ISSUE, MEASURES MAY INCLUDE PRESERVATION OF AREAS CONTAINING SIGNIFICAN POPULATIONS, POTENTIAL TRANSPLANTING OF INDIVIDUAL PLANTS, AND PLANT PROPAGATION AND REVEGETATION WITHIN APPROPRIATE ON-SITE HABITATS. REMOVAL OR PRUNING OF MONTEREY PINE TREES REQUIRED FOR HAZARD REDUCTION OR FIRE SAFETY PURPOSES SHALL NOT REQUIRE MITIGATION UNDER THIS MEASURE, BUT PRUNING SHALL FOLLOW ACCEPTED

74. BIO/MM-12 A QUALIFIED BIOLOGICAL MONITOR SHALL BE RETAINED CONSISTENT WITH BIO/MM-2 TO ENSURE THAT REMAINING PLANTS AND HABITATS ARE NOT INADVERTENTLY DISTURBED DURING CONSTRUCTION ACTIVITIES. PRIOR TO ANY PROJECT-RELATED GROUND DISTURBANCE, ALL CONTRACTORS ASSOCIATED WITH THE CONSTRUCTION PHASES OF TH PROPOSED PROJECT SHALL BE TRAINED BY THE BIOLOGICAL MONITOR ON THE IDENTIFICATION AND BIOLOGY OF SENSITIVE PLANT SPECIES AND HABITATS KNOWN IN THE VICINITY OF THE PROJECT AREA. WORK AREAS SHOULD ALSO BE CLEARLY DELINEATED AND FLAGGED TO LIMIT VEHICULAR AND FOOT ACCESS TO ONLY THOSE AREAS NECESSARY FOR PROJECT COMPLETION. THESE AREAS SHOULD BE DESIGNATED BY THE BIOLOGICAL MONITOR TO AVOID/DISCOURAGE UNNECESSARY DAMAGE TO SENSITIVE SPECIES AND HABITATS WITHIN AND NEAR THE PROJECT AREA.

75. BIO/MM-15 TO THE EXTENT PRACTICABLE, CONSTRUCTION ACTIVITIES WITHIN OR ADJACENT TO SANTA ROSA CREEK (WITHIN

100 FEET) SHALL BE CONDUCTED DURING THE DRY SEASON (MAY 15 THROUGH OCTOBER 15). 76. BIO/MM-18 IN ORDER TO MINIMIZE THE POSSIBILITY OF INJURING SPECIAL-STATUS SPECIES AND OTHER WILDLIFE HERBACEOUS AND SMALL WOODY VEGETATION WITHIN THE PROJECT IMPACT AREA SHALL BE REMOVED BY HAND WITH PORTABLE MOTORIZED EQUIPMENT (I.E., CHAINSAWS, ETC.), PRIOR TO THE USE OF HEAVY EQUIPMENT OR MACHINERY, A QUALIFIED BIOLOGIST SHALL BE ON-SITE TO PROVIDE CLEARANCE FOR SPECIAL-STATUS SPECIES IMMEDIATELY PRIOR TO EGETATION REMOVAL ACTIVITIES. THE BIOLOGICAL MONITOR SHALL HAVE GENERAL KNOWLEDGE OF THE NATURAL RESOURCES OF THE AREA AND SHALL ALSO BE EXPERIENCED IN THE IDENTIFICATION OF SPECIAL-STATUS WILDLIFE SPECIES (E.G., CALIFORNIA RED-LEGGED FROG, WESTERN POND TURTLE), IN THE EVENT OF A REDLEGGED FROG TAKE, THE UNITED STATES FISH AND WILDLIFE SERVICE SHALL BE NOTIFIED AS SOON AS IS REASONABLY POSSIBLE. IN THE EVENT OF A STEEL HEAD TAKE, NATIONAL MARINE FISHERIES SERVICE SHALL BE CONTACTED AND THE STEELHEAD SHALL BE REMOVED FROM THE PROJECT SITE AND KEPT IN A FREEZER UNTIL FURTHER DIRECTION FROM NATIONAL MARINE FISHERIES SERVICE.

BIO/MM-19 THE NUMBER OF ACCESS ROUTES, SIZE OF STAGING AREAS, AND THE TOTAL AREA OF ACTIVITY SHALL BE LIMITED to the minimum necessary to achieve the project goal. Environmentally sensitive areas shall be established TO CONFINE ACCESS ROUTES AND CONSTRUCTION AREAS TO THE MINIMUM AREA NECESSARY TO COMPLETE CONSTRUCTION. AND MINIMIZE THE IMPACT TO STEELHEAD, CALIFORNIA RED-LEGGED FROG, AND SOUTHWESTERN POND TURTLE HABITAT; HIS GOAL INCLUDES LOCATING ACCESS ROUTES AND CONSTRUCTION AREAS OUTSIDE OF WETLANDS AND RIPARIAN AREAS TO THE MAXIMIIM EXTENT PRACTICABLE.

78. BIO/MM-20 DURING PROJECT ACTIVITIES ADJACENT TO SANTA ROSA CREEK, ALL TRASH THAT MAY ATTRACT PREDATORS SHALL BE PROPERLY CONTAINED, REMOVED FROM THE WORK SITE, AND DISPOSED OF REGULARLY. FOLLOWING CONSTRUCTION, ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM WORK AREAS.

79. BIO/MM-21 ALL REFUELING. MAINTENANCE. AND STAGING OF EQUIPMENT AND VEHICLES SHALL OCCUR AT DESIGNATED LOCATIONS AT LEAST 100 FEET FROM RIPARIAN AREAS. FUELING LOCATIONS SHALL HAVE SPILL CONTAINMENT MEASURES AND MATERIALS PRESENT AT ALL TIMES. THE MONITOR SHALL ENSURE CONTAMINATION OF HABITAT DOES NOT OCCUR DURING SUCH OPERATIONS. ALL WORKERS SHALL BE INFORMED OF THE IMPORTANCE OF PREVENTING SPILLS AND OF THE APPROPRIATE MEASURES TO TAKE SHALL A SPILL OCCUR.

80. BIO/MM-22 PROJECT AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED WITH AN ASSEMBLAGE OF NATIVE RIPARIAN WETLAND AND UPLAND VEGETATION NATIVE TO THE AREA LOCALLY COLLECTED PLANT MATERIALS SHALL BE USED TO THE EXTENT PRACTICABLE. INVASIVE NONNATIVE PLANTS WITHIN DISTURBED AREAS SHALL BE CONTROLLED TO THE

81. BIO/MM-24 TO CONTROL SEDIMENTATION DURING AND AFTER PROJECT IMPLEMENTATION. THE CONTRACTOR SHALL

IMPLEMENT BEST MANAGEMENT PRACTICES (BMPS) OUTLINED IN ANY AUTHORIZATIONS OR PERMITS ISSUED UNDER THE

AUTHORITIES OF THE CLEAN WATER ACT FOR THE PROJECT. IF BMPS ARE INEFFECTIVE. THE CONTRACTOR SHALL ATTEMPT TO REMEDY THE SITUATION IMMEDIATELY, IN CONSULTATION WITH THE ENVIRONMENTAL MONITOR AND THE CCSD. 82. CUL T/MM-9 IN THE EVENT ARCHAEOLOGICAL OR HISTORICAL RESOURCES ARE UNEARTHED OR DISCOVERED DURING ANY CONSTRUCTION ACTIVITIES, THE FOLLOWING SHALL APPLY:

CONSTRUCTION ACTIVITIES SHALL CEASE, AND THE CCSD OR ITS DESIGNEE, THE COUNTY ENVIRONMENTAL COORDINATOR, AND COUNTY PLANNING DEPARTMENT SHALL BE NOTIFIED SO THAT THE EXTENT AND LOCATION OF DISCOVERED MATERIALS MAY BE RECORDED BY A QUALIFIED ARCHAEOLOGIST OR HISTORIAN (AS APPLICABLE). AND DISPOSITION OF ARTIFACTS MAY BE ACCOMPLISHED IN ACCORDANCE WITH STATE AND FEDERAL LAW. IN THE EVENT ARCHAEOLOGICAL RESOURCES ARE FOUND TO INCLUDE HUMAN REMAINS, OR IN ANY OTHER CASE WHEN HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION. THE COUNTY CORONER IS TO BE NOTIFIED IN ADDITION TO THE CCSD, COUNTY ENVIRONMENTAL COORDINATOR, AND COUNTY PLANNING DEPARTMENT SO PROPER DISPOSITION

MAY BE ACCOMPLISHED.

IMPLEMENT CUL T/MM-1 THROUGH CUL TLMM-8 AS APPLICABLE.

BANK UPSTREAM OF THE PREVIOUSLY RESTORED BANK.

83. GEO/MM-7 PRIOR TO SITE DISTURBANCE AND DURING TRAIL AND RESOURCE MANAGEMENT WITHIN THE FISCALINI RANCH PRESERVE (FRP). THE CCSD OR ITS DESIGNEE SHALL IMPLEMENT THE FOLLOWING MEASURES: IMPLEMENT SANTA ROSA CREEK BANK STABILIZATION MEASURES IDENTIFIED IN THE PUBLIC ACCESS AND MANAGEMENT PLAN (RRM. 2003). STREAMBANK RESTORATION PLANS SHALL BE DEVELOPED TO CONTROL BANK EROSION ON THE SANTA ROSA CREEK EAST 84. HYD/MM-1 DURING RESTORATION ACTIVITIES WITH IN THE SEACLIFT GULLY, SOIL STABILIZATION MEASURES SHALL BE IMPLEMENTED TO ENSURE THAT SEDIMENTATION OR DEBRIS DO NOT MOVE DOWNSTREAM AND REDUCE THE DRAINAGE CAPACITY OF THE 36-INCH CULVERT BENEATH WINDSOR BOULEVARD

85. N/MM-1 DURING CONSTRUCTION ACTIVITIES. THE USE OF FOLIPMENT SHALL BE LIMITED TO ALLOWED WORK HOURS AS DEFINED IN THE EXISTING COUNTY NOISE ORDINANCE, 7:00 A.M. TO 9:00 P.M. MONDAY THROUGH FRIDAY) AND 8:00 A.M. TO 5:00 P.M. (SATURDAY AND SUNDAY).

CONDITIONS TO BE COMPLETED PRIOR TO OCCUPANCY OR FINAL BUILDING INSPECTION ESTABLISHMENT OF THE USE: AES/MM-7 UPON IMPLEMENTATION OF THE PUBLIC ACCESS AND MANAGEMENT PLAN, SHORT TERM ACTIONS OF PHASED IMPROVEMENTS SHALL INCLUDE THE FOLLOWING CONCEPT: INSTALL AND MAINTAIN VISUAL SCREEN PLANTING WHERE FEASIBLE AT AREAS IDENTIFIED IN THE MANAGEMENT PLAN AND SUBSEQUENT VISUAL ASSESSMENTS AS AREAS LIKELY TO

87. BIO/MM-27 FOR THE LIFE OF THE PROJECT, NO VEHICULAR PARKING SHALL BE ALLOWED ON THE FISCALINI RANCH PRESERVE. WITH THE EXCEPTION OF: EXISTING AMERICAN DISABILITIES ACT (ADA) PARKING LOCATED AT THE NORTHERN TERMINUS OF THE MARINE TERRACE TRAIL I BLUFF TRAIL: THE EXISTING TURN-OUT AT THE HIGHWAY 1 STAGING AREA: PARKING INCLUDED IN THE APPROVED COMMUNITY PARK MASTER PLAN ON THE EAST FISCALINI RANCH PRESERVE; AND, MAINTENANCE AND EMERGENCY VEHICLES AND EQUIPMENT.

88. CUL T/MM-4 UPON COMPLETION OF ALL MONITORING/MITIGATION ACTIVITIES, THE CONSULTING ARCHAEOLOGIST SHALL SUBMIT A REPORT TO THE CCSD AND COUNTY ENVIRONMENTAL COORDINATOR SUMMARIZING ALL MONITORING/MITIGATION ACTIVITIES AND CONFIRMING THAT ALL RECOMMENDED MITIGATION MEASURES HAVE BEEN MET

89. CUL T/MM-6 UPON IMPLEMENTATION OF PROPOSED TRAIL AND AMENITY IMPROVEMENTS. THE CCSD OR ITS DESIGNEE SHALL IMPLEMENT A SIGN PROGRAM FOR THE PROTECTION OF ENVIRONMENTAL RESOURCES. SIGNAGE SHALL INCLUDE THE FOLLOWING, OR SIMILAR, LANGUAGE: "PLEASE STAY ON DESIGNATED TRAILS. DISTURBANCE OF SENSITIVE BIOLOGICA HABITATS AND COLLECTION OF ARTIFACTS SUCH AS ARROWHEADS, OLD BOTTLES, AND OTHER MATERIALS IS EXTREMELY DAMAGING". AT A MINIMUM, SIGNAGE SHALL BE PLACED AT TRAILHEADS.

90. CUL T/MM-8 UPON COMPLETION OF ALL MONITORING/MITIGATION ACTIVITIES, THE CONSULTING HISTORICAL

MINIMUM OF 25 FEET BASED ON SITE INVESTIGATIONS, COASTAL COMMISSION AND SAN LUIS OBISPO COUNTY DEPARTMEN

OF PLANNING AND BUILDING REQUIREMENTS AND GUIDELINES, AND TO THE EXTENT FEASIBLE CONSIDERING PROTECTION OF

ARCHAEOLOGIST SHALL SUBMIT A REPORT TO THE CCSD AND COUNTY ENVIRONMENTAL COORDINATOR SUMMARIZING ALL MONITORING/MITIGATION ACTIVITIES AND CONFIRMING THAT ALL RECOMMENDED MITIGATION MEASURES HAVE BEEN MET. 91. GEO/MM-1 ANY ADDITIONAL IMPROVEMENTS OR ADDITIONS TO THE BLUFF TRAIL SHALL BE SET BACK FROM THE BLUFF TOP A

WETLAND RESOURCES. 92. GEO/MM-6 THE CCSD SHALL CREATE A PLAN FOR EVACUATION BASED ON THE NWS WARNING GUIDANCE AND THE SAN LUIS OBISPO COUNTY TSUNAMI EMERGENCY RESPONSE PLAN. IN THE EVENT OF AN ANTICIPATED TSUNAMI, THE CCSD OR RANCH

HM/MM-2 TO REDUCE THE POTENTIAL FOR WILDLAND FIRE, THE CCSD SHALL IMPLEMENT THE FIRE MANAGEMENT AND PREVENTION STRATEGIES INCLUDED IN THE MANAGEMENT PLAN, INCLUDING, BUT NOT LIMITED TO: CREATING A DEFENSIBLE ZONE OF 50-300 FEET ADJACENT TO THE LODGE HILL NEIGHBORHOOD:

MANAGER SHALL POST NWS WARNINGS AT EACH TRAILHEAD

PROHIBITING SMOKING AND FIRES OF ANY KIND WITHIN THE FRP; CLEARING DEAD STANDING TREES, DENSE UNDERBRUSH AND TREE LIMBS UP TO SIX FEET ABOVE GROUND; POSTING RED FLAGS AT STAGING AREAS TO WARN VISITORS TO BE CAREFUL EXTRA VIGILANT PERIODS OF HIGH FIRE HAZARDS: AND.

COORDINATING ALL RANCH MAINTENANCE ACTIVITIES WITH THE CFD. 94. HM/MM-3 PRIOR TO OPERATION OF THE COMMUNITY PARK, THE CCSD SHALL SUBMIT A HAZARDOUS MATERIALS BUSINESS

PLAN TO THE COUNTY DIVISION OF ENVIRONMENTAL HEALTH. 95. PSU/MM-2 TRAILS PROPOSED FOR EMERGENCY ACCESS, INCLUDING THE MARINE TERRACE TRAIL AND SANTA ROSA CREEK

(WEST) TRAIL SHALL BE MAINTAINED TO ENSURE FUNCTION AND EMERGENCY ACCESS THROUGHOUT THE FRP 96. PSU/MM-3 THE CAMBRIA CSD FIRE DEPARTMENT SHALL USE EXISTING VEHICLES AND TRUCKS CAPABLE OF CARRYING RESCUE PERSONNEL AND THEIR EQUIPMENT AS WELL AS INDIVIDUAL VICTIMS. THROUGHOUT THE FRP.

97. PSU/MM-4 IMMEDIATELY FOLLOWING USE OF AN EMERGENCY VEHICLE ON NON-EMERGENCY ACCESS ROADS ON THE FRP. THE FRP MANAGER SHALL INSPECT THE TRAIL AND IMPLEMENT EROSION CONTROL MEASURES AND SITE RESTORATION AS

98. PSU/MM-6 THE CAMBRIA CSD FIRE DEPARTMENT SHALL CONTINUE TO ENGAGE IN ANNUAL FUEL REDUCTION ACTIVITIES,

ESPECIALLY IN THE URBAN/WILDLAND INTERFACE AREAS ON THE NORTH AND BOUNDARIES OF THE WEST FRP, AS OUTLINED IN THE PUBLIC ACCESS AND RESOURCE MANAGEMENT PLAN. 99. PSU/MM-8 TURN-OUTS AND OTHER AREAS NOT APPROVED FOR VEHICLE PARKING SHALL BE APPROPRIATELY SIGNED TO

INFORM VISITORS OF THE NO CAMPING AND NO PARKING LIMITATIONS OF THE FRP.

100 PSU/MM-S DURING MANAGEMENT OF THE FRP. THE CCSD OR RANCH MANAGER SHALL MONITOR TRASH QUANTITY AND DETERMINE IF ADDITIONAL TRASH AND RECYCLING RECEPTACLES AND TRASH PICK-UP DAYS ARE NECESSARY. TRASH RECEPTACLES SHALL BE PLACED AT MAJOR TRAIL HEADS AT THE BOUNDARY OF THE RANCH, AND ADJACENT TO ALL PARKING

101. TC/MM-2 THE CCSD OR FRP MANAGER SHALL CONTINUE TO COORDINATE WITH THE CAMBRIA TROLLEY SERVICE TO DETERMINE APPROPRIATE DAYS OF SERVICE AND TROLLEY STOP LOCATIONS ON AND IN THE IMMEDIATE VICINITY OF THE WEST

102. TC/MM-3 UPON PREPARATION OF INFORMATIONAL PUBLICATIONS REGARDING THE WEST FRP, THE CCSD SHALL INCLUDE A DESCRIPTION OF AND ENCOURAGE ALTERNATIVE TRANSPORTATION METHODS TO ACCESS THE FRP, INCLUDING TROLLEY STOPS, BICYCLE ROUTES, AND PEDESTRIAN WALKWAYS. 103. TC/MM-6 DURING OPERATION OF THE SPORTS FIELDS, THE CCSD SHALL IMPLEMENT A FIELD ROTATION PROGRAM. THE

PROGRAM SHALL ENSURE THAT DURING ORGANIZED SPORTING EVENTS, NO MORE THAN FOUR SPORTS FIELDS ARE IN 104. LANDSCAPING IN ACCORDANCE WITH THE APPROVED LANDSCAPING PLAN SHALL BE INSTALLED OR BONDED FOR BEFORE FINAL

BUILDING INSPECTION I ESTABLISHMENT OF THE USE. IF BONDED FOR, LANDSCAPING SHALL BE INSTALLED WITHIN 60 DAYS AFTER FINAL BUILDING. ALL LANDSCAPING SHALL BE MAINTAINED IN A VIABLE CONDITION IN PERPETUITY. 105. PRIOR TO OCCUPANCY OR FINAL INSPECTION, WHICHEVER OCCURS FIRST, THE APPLICANT SHALL OBTAIN FINAL INSPECTION

AND APPROVAL FROM CDF OF ALL REQUIRED FIREFLIFE SAFETY MEASURES. 106.PRIOR TO OCCUPANCY OF ANY STRUCTURE ASSOCIATED WITH THIS APPROVAL, THE APPLICANT SHALL CONTACT THE

APPROVAL. ON-GOING CONDITIONS OF APPROVAL (VALID FOR THE LIFE OF THE PROJECT):

COUNTY PUBLIC WORKS DIRECTOR.

THE CREEK

107. ON-GOING CONDITION OF APPROVAL (VALID FOR THE LIFE OF THE PROJECT), AND IN ACCORDANCE WITH COUNTY CODE SECTION 13.08. NO ACTIVITIES ASSOCIATED WITH THIS PERMIT SHALL BE ALLOWED TO OCCUR WITHIN THE PUBLIC RIGHT-OF-WAY INCLUDING, BUT NOT LIMITED TO, PROJECT SIGNAGE; TREE PLANTING; FENCES; ETC WITHOUT A VALID

ENCROACHMENT PERMIT ISSUED BY THE DEPARTMENT OF PUBLIC WORKS. 108. ON-GOING CONDITION OF APPROVAL (VALID FOR THE LIFE OF THE PROJECT). THE CCSD SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE 01 PUBLIC ROAD FRONTAGE SIDEWALKS, LANDSCAPING, STREET LIGHTING, PARKING LOTS AND PEDESTRIAN AMENITIES IN A VIABLE CONDITION AND ON A CONTINUING BASIS INTO PERPETUITY OR UNTIL SPECIFICALLY

ACCEPTED FOR MAINTENANCE BY ANOTHER PUBLIC AGENCY. 109. ON-GOING CONDITION OF APPROVAL (VALID FOR THE LIFE OF THE PROJECT), INDIVIDUAL TRAFFIC IMPACTING IMPROVEMENTS (NOT LIMITED TO BUT INCLUDING: PARKING LOTS, PARKING SPACES, PEDESTRIAN AMENITIES ALONGSIDE ROADWAYS), SHALL REQUIRE A TRAFFIC ENGINEER'S REPORT TO ESTABLISH NECESSARY MITIGATIONS UNLESS WAIVED BY THE

110. ON-GOING CONDITION OF APPROVAL (VALID FOR THE LIFE OF THE PROJECT), AND IN ACCORDANCE WITH TITLE 13.01 OF THE COUNTY CODE THE 'APPLICANT SHALL BE RESPONSIBLE FOR PAYING TO THE DEPARTMENT OF PUBLIC WORKS THE APPROPRIATE NORTH COAST ROAD IMPROVEMENT FEES FOR EACH FUTURE BUILDING PERMITTED IN THE AMOUNT PREVAILING AT THE TIME OF PAYMENT

111. ON-GOING CONDITION OF APPROVAL (VALID FOR THE LIFE OF THE PROJECT), THE PROJECT'S VARIOUS DEVELOPMENTS SHALL COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PHASE I AND I OR PHASE II STORM WATER PROGRAM AND THE COUNTY'S STORM WATER POLLUTION CONTROL AND DISCHARGE ORDINANCE, TITLE 8, SECTION 8.68 ET SEC.

112. A. EQUESTRIANS ARE LIMITED BY THE MANAGEMENT PLAN TO USING THE FOIL OWING TRAILS: MARINE TERRACE (2) RIDGE (3) CREEK TO FOREST (7), WEST SANTA ROSA CREEK (8), AND CREEK TO RIDGE (9) TRAILS, THE NUMBER OF EQUESTRIANS USING THE FISCALINI RANCH PRESERVE CANNOT EXCEED 6 PER DAY NOT TO EXCEED 12 PER WEEK. EQUESTRIANS SHALL NOT RIDE IN THE CREEK OR WITHIN RIPARIAN AREAS. THERE SHALL BE NO OFF TRAIL RIDING OR CROSSING BENEATH HIGHWAY 1. ALL TRAILS SHALL INCLUDE SIGNAGE TO NOTIFY USERS OF THESE RESTRICTIONS. B. THE APPLICANT SHALL SUBMIT FOR PLANNING DEPARTMENT APPROVAL A REVISED TRAIL PLAN CONSISTENT WITH THE CHANGES AS SHOWN ON EXHIBIT D PRESENTED AT THE PLANNING COMMISSION HEARING. C. COUNTY APPROVED BARRIERS SHALL BE INSTALLED ON EITHER SIDE OF SANTA ROSA CREEK TO PREVENT EQUESTRIAN USE IN

113. ANNUAL MONITORING REPORTS SHALL BE SUBMITTED TO THE COUNTY PLANNING DEPARTMENT CONSISTENT WITH THE

114. CCSD WILL PROVIDE ADEQUATE TIMELY NOTIFICATION TO THE COUNTY AND THE PUBLIC BEFORE PROJECTS COMMENCE BY INCLUDING THEM ON THE CCSD BOARD OF DIRECTORS AGENDA.

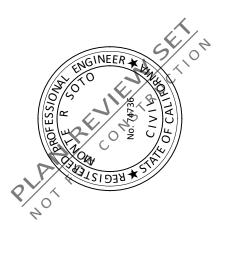
115. THIS LAND USE PERMIT IS A PHASED PROJECT AS DESCRIBED IN CONDITION 1. THE LAND USE PERMIT IS CONSIDERED TO BE VESTED ONCE A CONSTRUCTION PERMIT HAS BEEN ISSUED AND SUBSTANTIAL SITE WORK HAS BEEN COMPLETED WITHIN THE TIME PERIOD OUTLINED IN CONDITION 1. IN THIS CASE, THIS LAND USE PERMIT IS CONSIDERED TO BE VESTED ONCE ONE OF THE PROJECTS (NOT LISTED AS "COMPLETE") FROM TABLE A IS IMPLEMENTED AND CONSTRUCTED.

116. ALL CONDITIONS OF THIS APPROVAL SHALL BE STRICTLY ADHERED TO. WITHIN THE TIME FRAMES SPECIFIED AND IN AN ON-GOING MANNER FOR THE LIFE OF THE PROJECT. FAILURE TO COMPLY WITH THESE CONDITIONS OF APPROVAL MAY RESULT IN AN IMMEDIATE ENFORCEMENT ACTION BY THE DEPARTMENT OF PLANNING AND BUILDING. IF IT IS DETERMINED THAT VIOLATION(S) OF THESE CONDITIONS OF APPROVAL HAVE OCCURRED, OR ARE OCCURRING, THIS APPROVAL MAY BE REVOKED PURSUANT TO SECTION 23.10.160 OF THE LAND USE ORDINANCE.

> NOT ALL CONDITIONS OF APPROVAL APPLY TO PHASE 1 OF THE PROJECT. CONDITIONS OF APPROVAL APPLICABLE TO PHASE 1 ARE SHOWN IN BLACK TEXT. CONDITIONS OF APPROVAL NOT APPLICABLE TO PHASE 1 ARE SHOWN

IN GRAY TEXT.

NGINEER OF RECORD:



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OMMUNI DISTRICT ISEN DRIVE CA 93428 

REVIEWED BY: MRS

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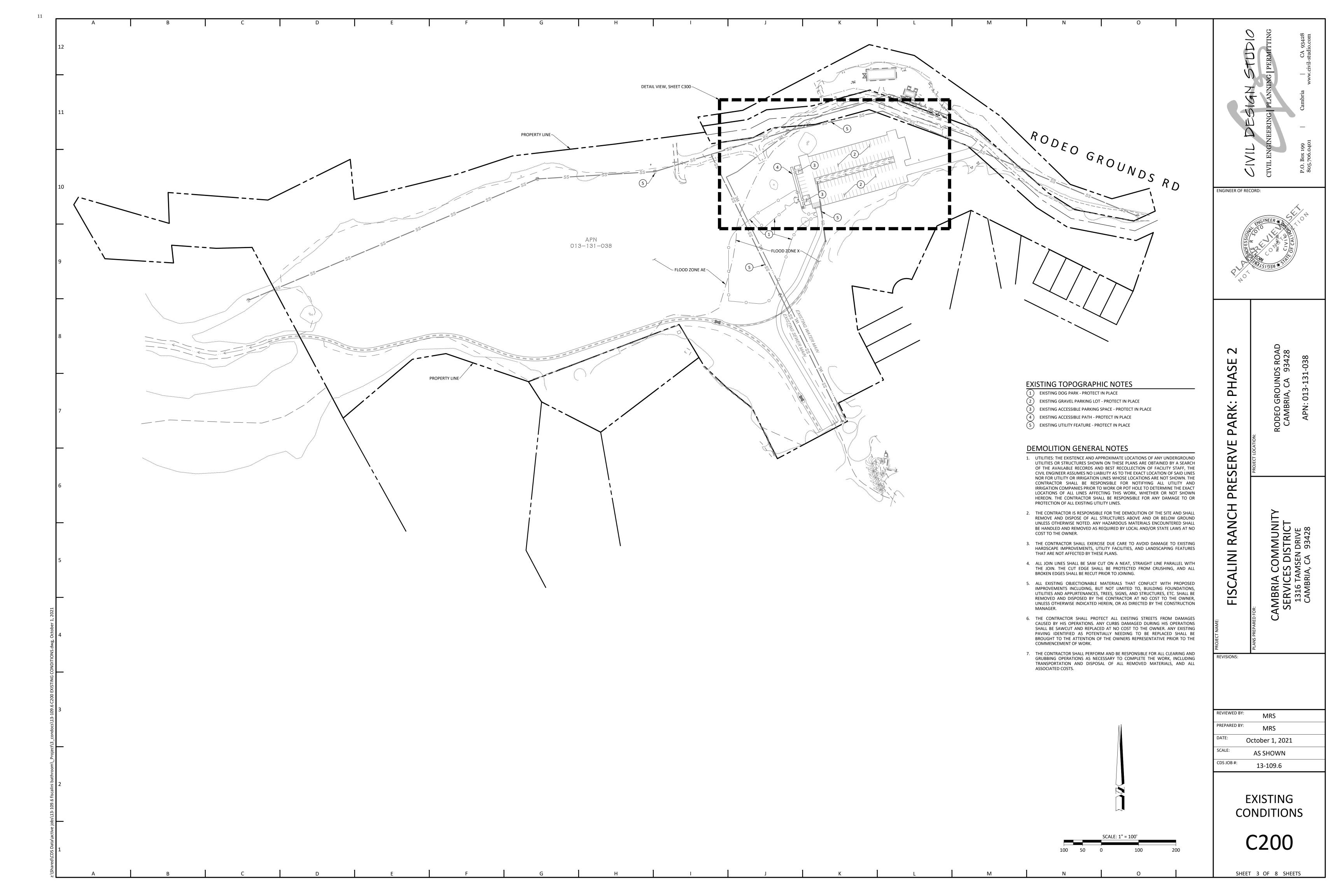
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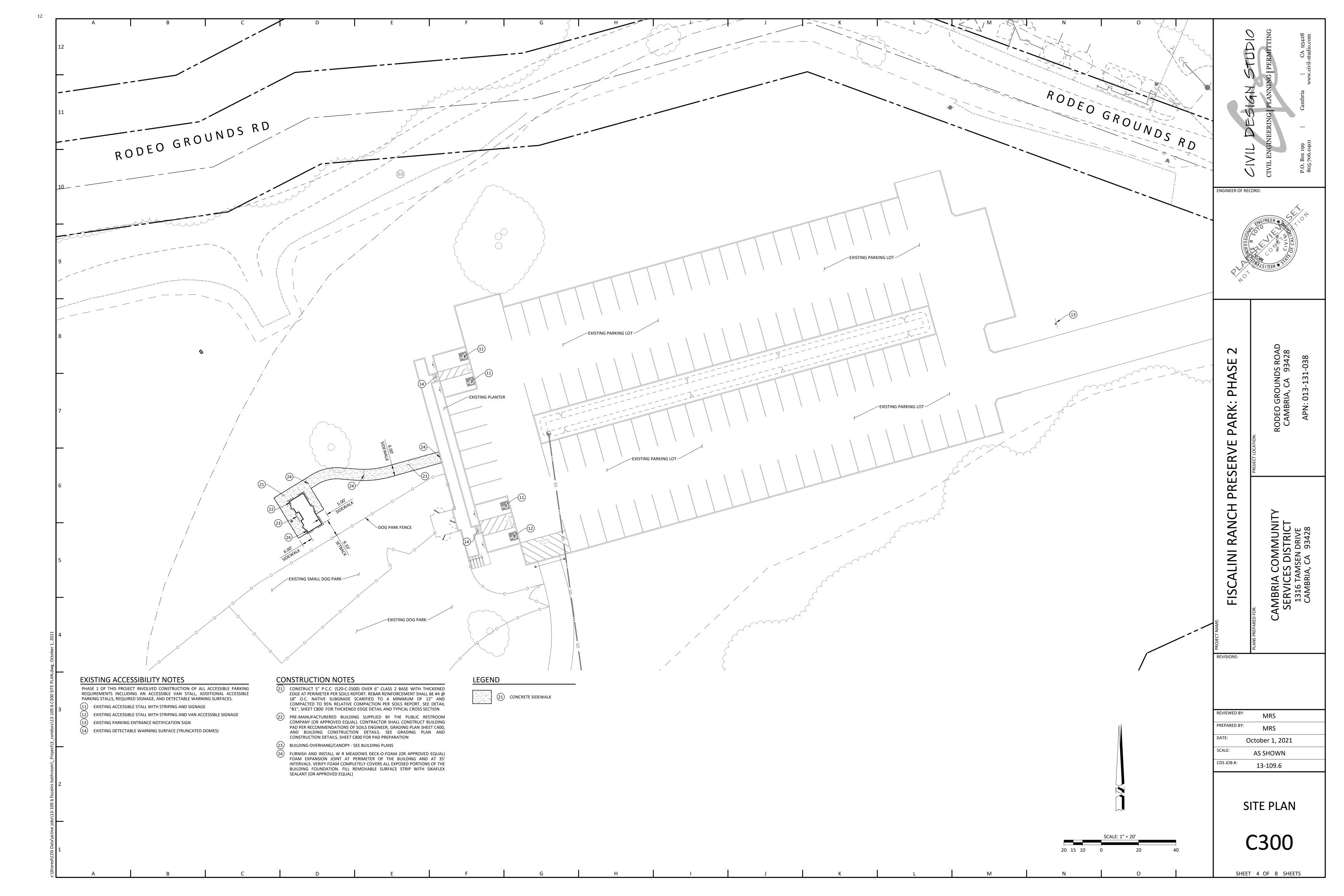
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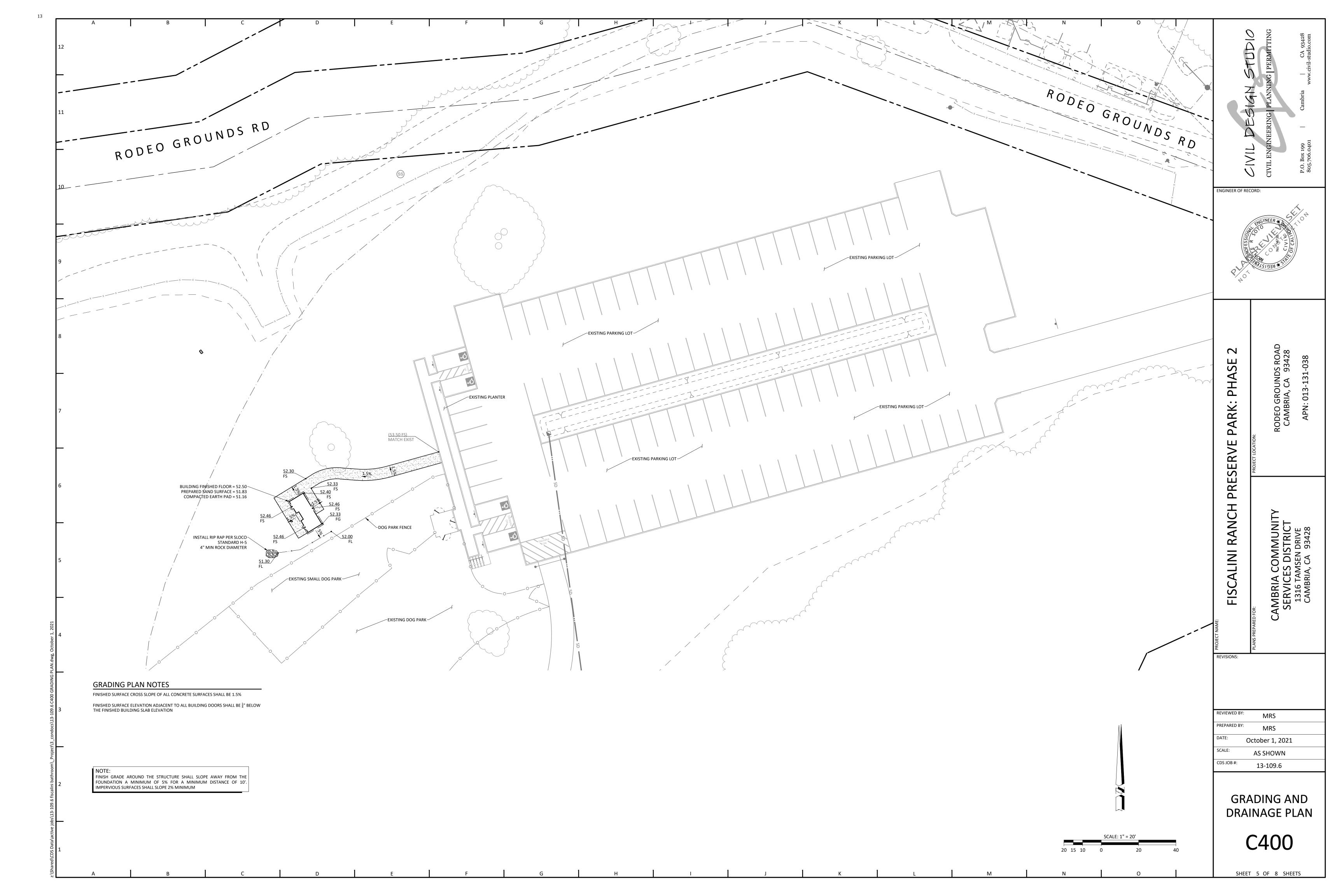
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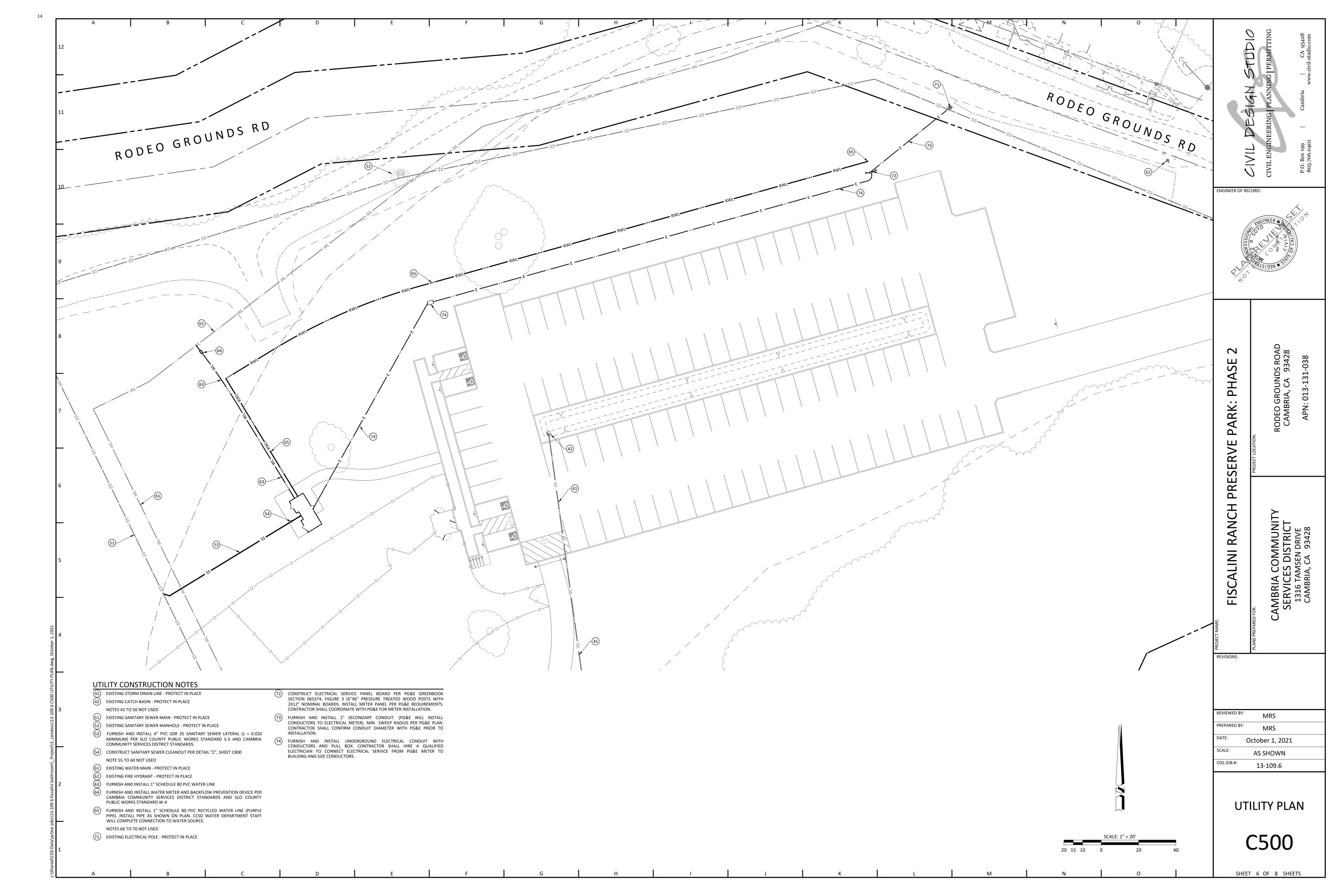
PREPARED BY: MRS October 1, 2021

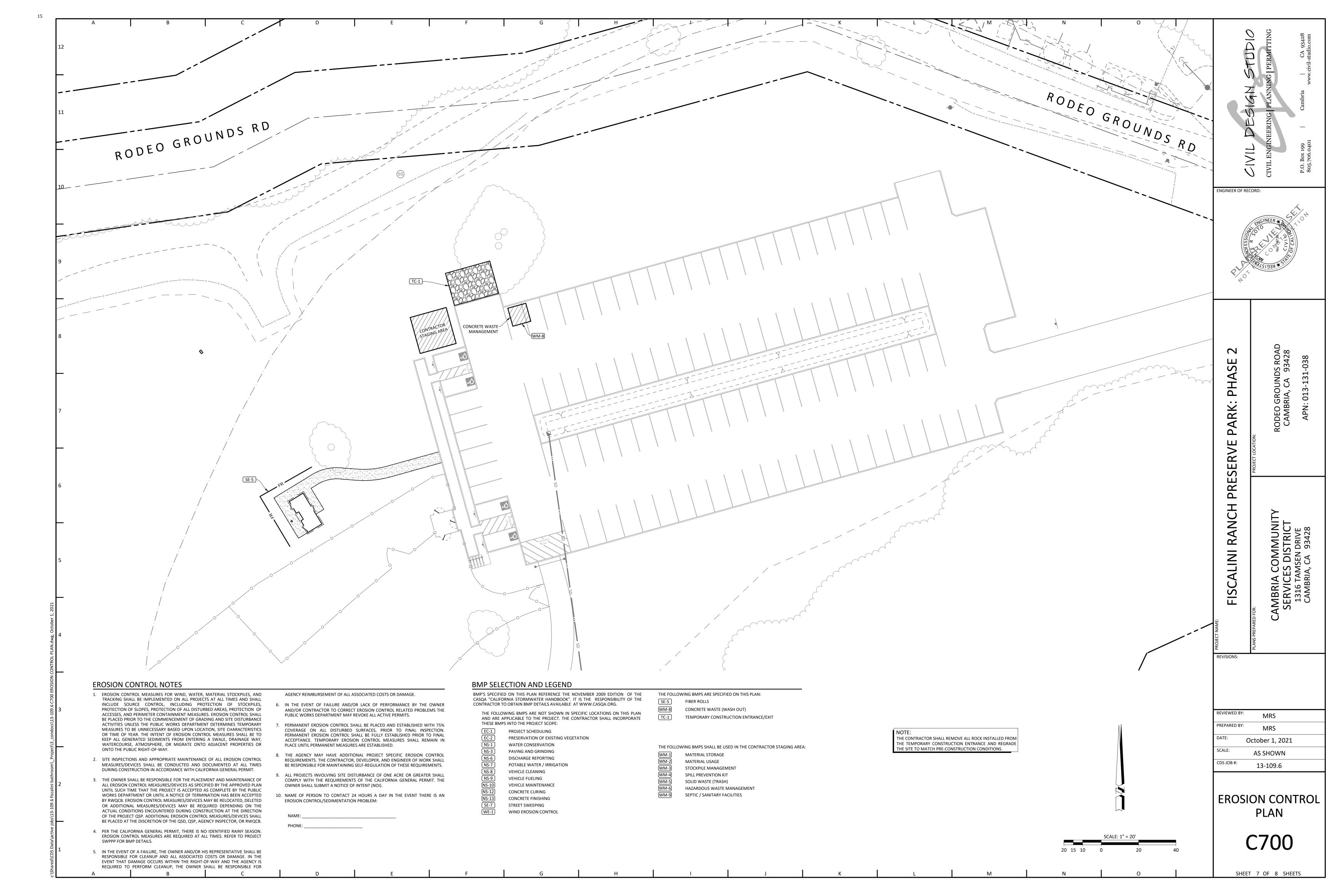
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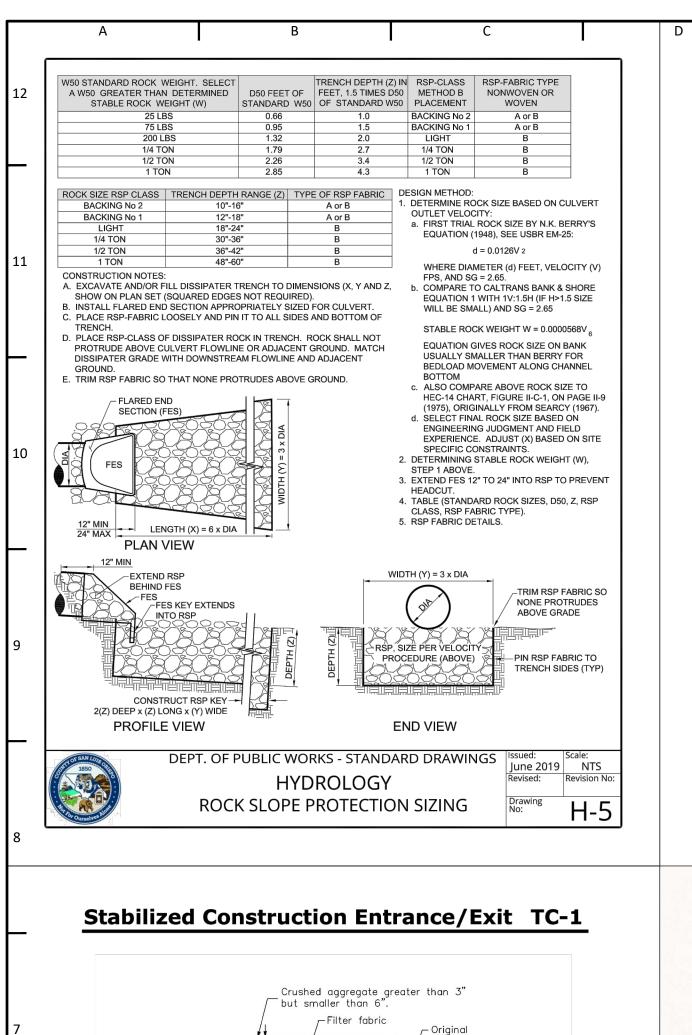


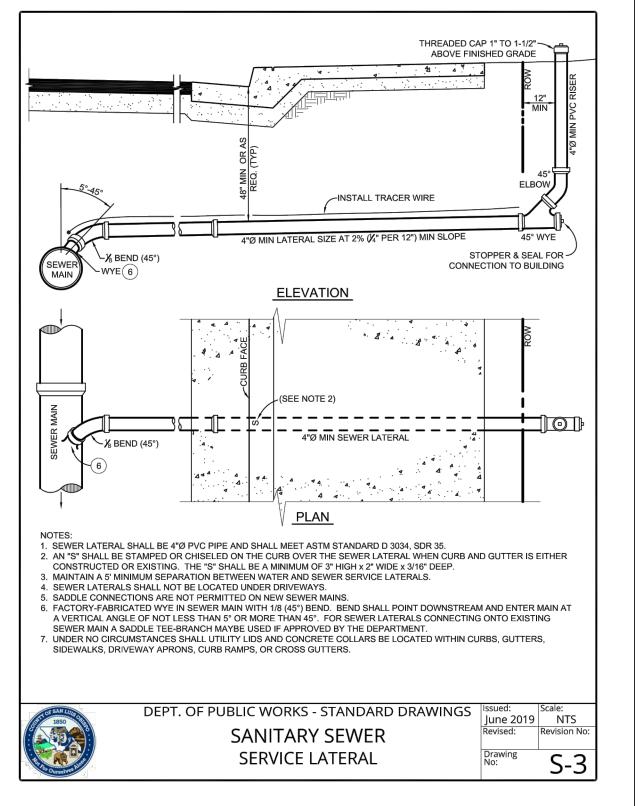




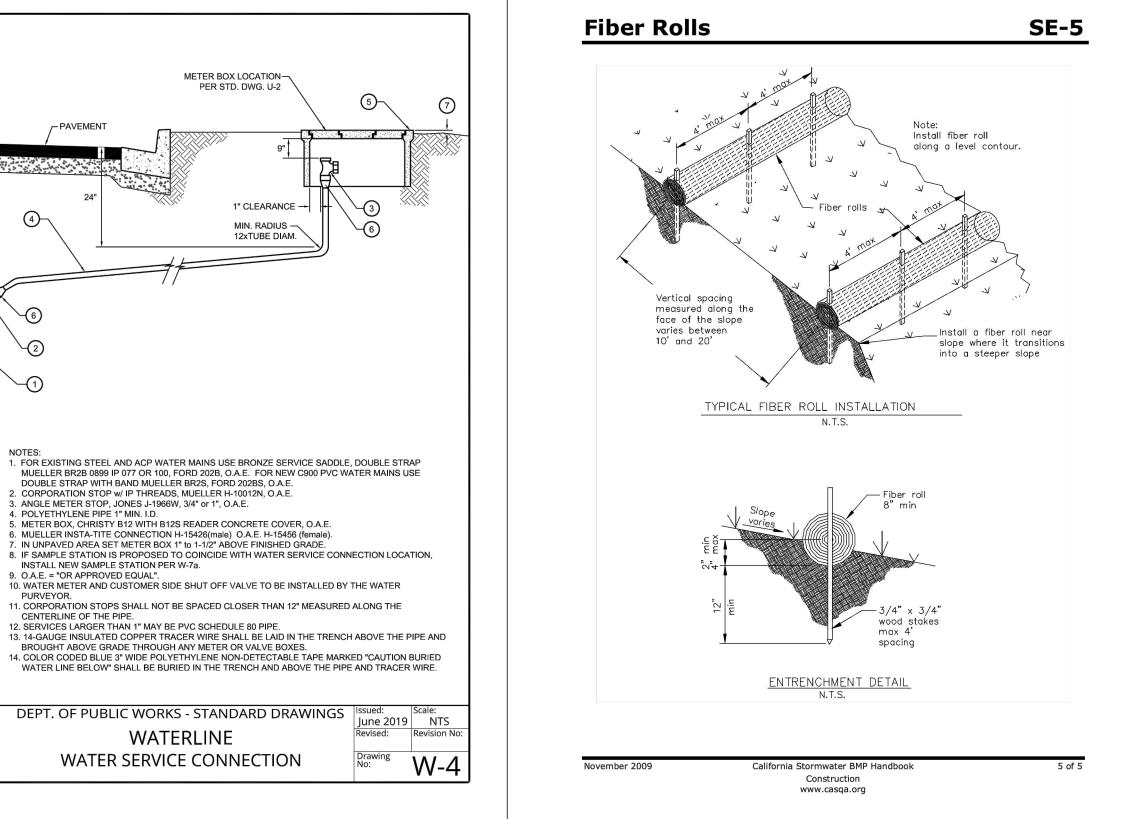


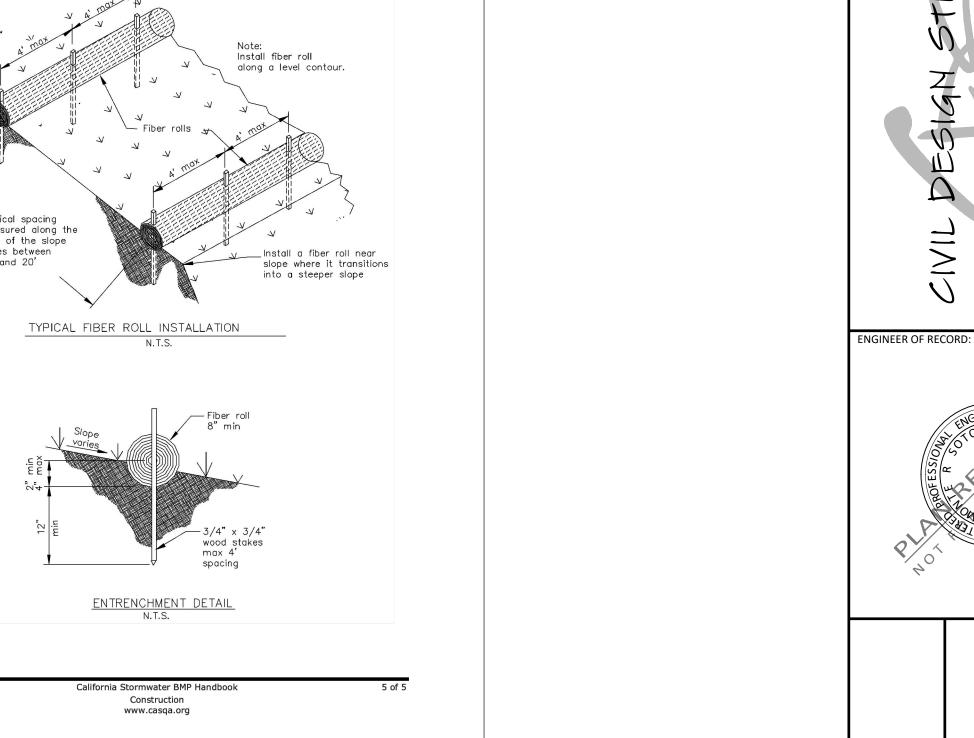


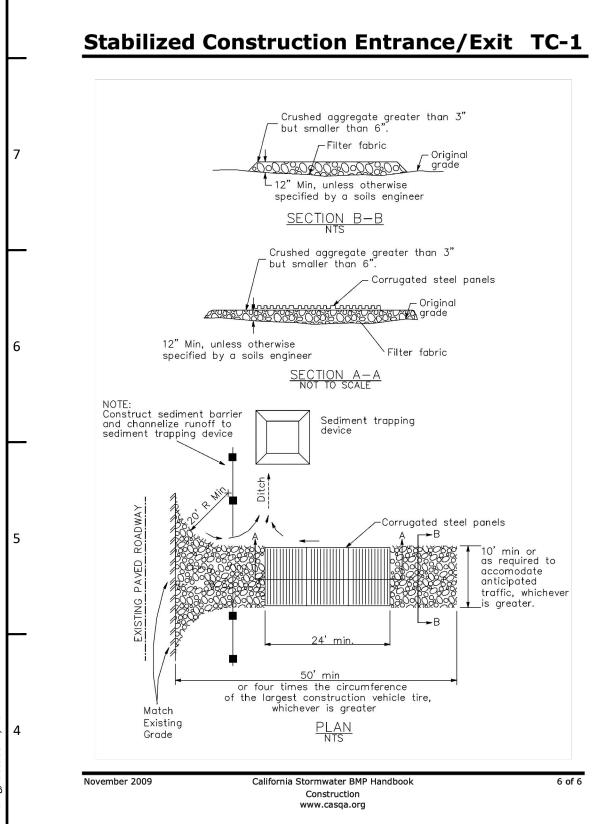


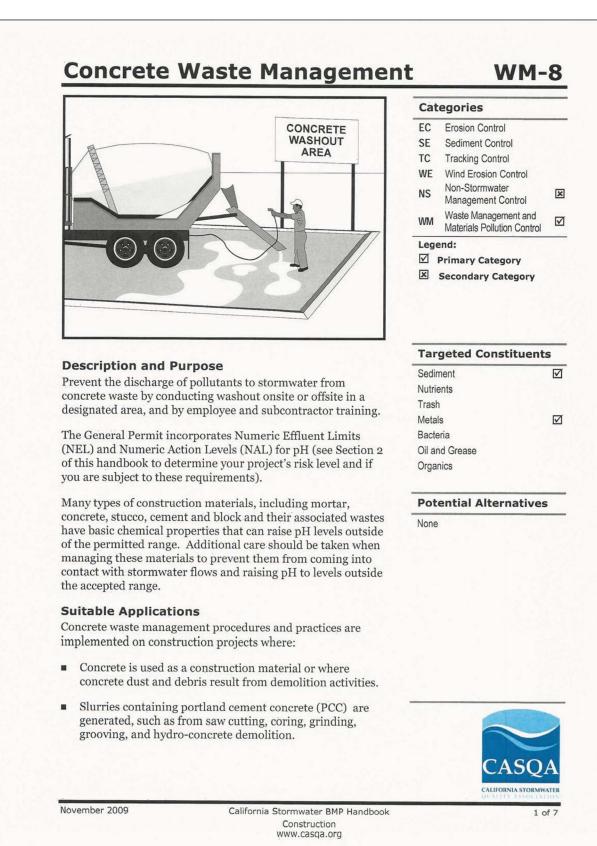


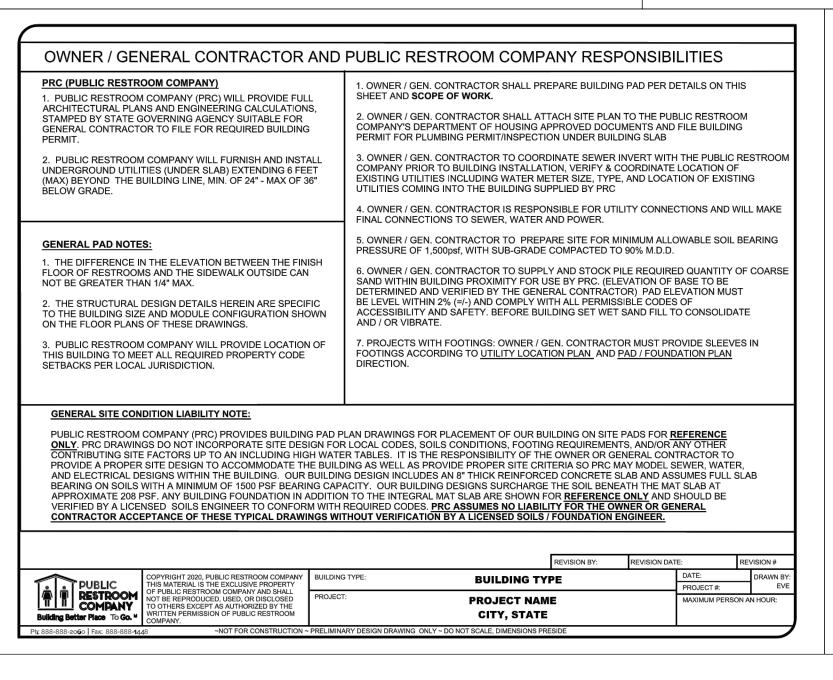
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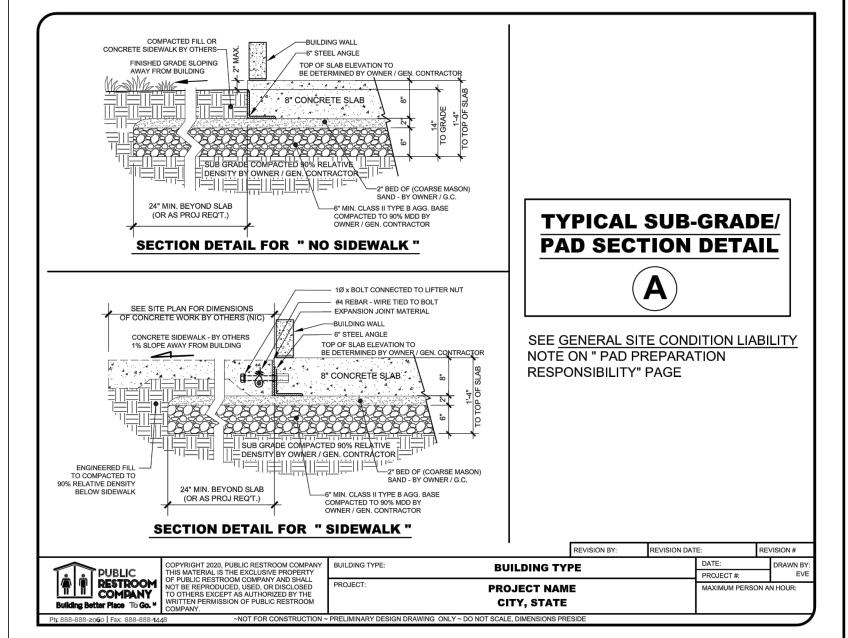


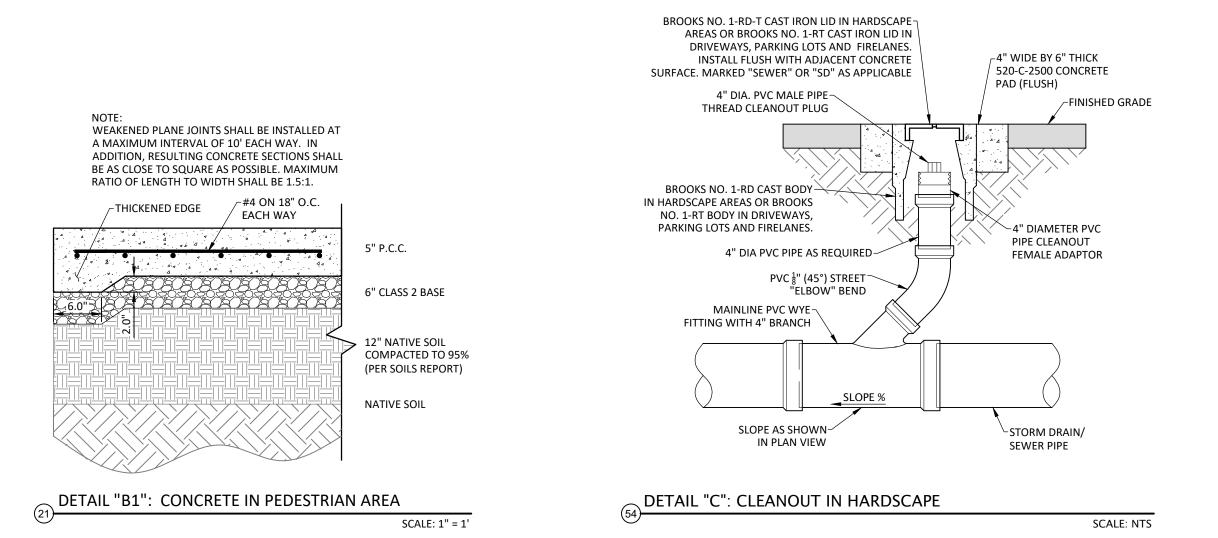


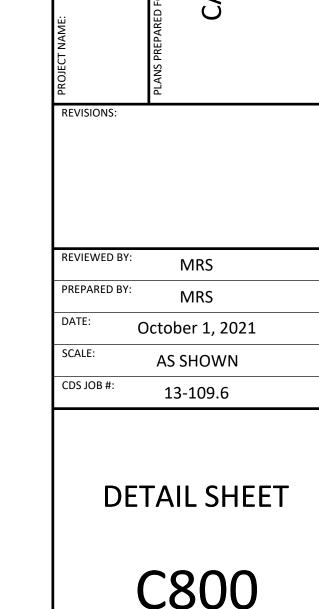












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# FLOOR PLAN SCALE: NOT TO SCALE

California, **RESTROOM BUILDING** CAMBRIA COMMUNITY SERVICE DISTRICT PUBLIC BATHROOM

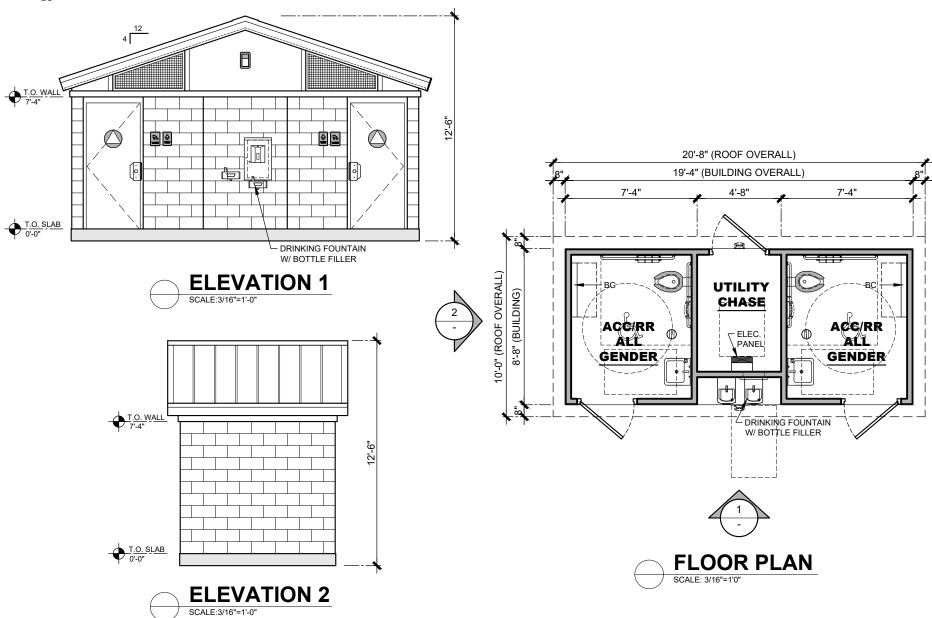
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BUILDING TYPE:	<b>RESTROOM</b>	BUILDING - 'A'

REVISION #

1

PROJECT #:

REVISION 7/29/2021
DRAWN BY: EOR

SHEET#

PROJECT: FISCALINI RANCH PUBLIC RESTROOM

11060A

 START DATE:
 7/28/2021

 DRAWN BY:
 EOR

CAMBRIA COMMUNITY SERVICE DISTRICT, CA



Date: Job Number: Job Name: 10/1/2021 21-016 Fiscalini Bathroom - Preliminary

## PRELIMINARY, PRE-SITE PLAN Engineers Estimate

CAT.	ITEM	QUANT	UNIT	\$/UNIT	% REMAIN.	\$	DESCRIPTION
GENE	RAL PROJECT COSTS						
	MOBILIZATION / OVERHEAD	1	LS	10000.00	100	\$10,000	
	SURVEYING	1	LS	4000.00	100	\$4,000	
	SOILS ENGINEERING/SPECIAL INSPECTION	1	LS	10000.00	100	\$10,000	
	OTHER						
<u></u>		GE	NERAL PRO	DJECT COSTS	SUBTOTAL:	\$24,000	
DEMO	& EARTHWORK	GE	NERAL PRO	DJECT COSTS	SUBTOTAL:	\$24,000	
DEMO	& EARTHWORK CLEARING & GRUBBING	<b>GE</b> 1	LS	2500.00		·	LIGHT DENSITY
DEMO	- Francisco - Fran				100	·	LIGHT DENSITY
DEMO	CLEARING & GRUBBING		LS	2500.00	100 100	\$2,500	LIGHT DENSITY

1

DEMO & EARTHWORK SUBTOTAL: \$12,500

## PRELIMINARY, PRE-SITE PLAN Engineers Estimate

CAT.	ITEM	QUANT	UNIT	\$/UNIT	% REMAIN.	\$	DESCRIPTION
ONSIT	E IMPROVEMENTS						
	CONCRETE	750	SF	20.00	100	\$15,000	
	CLASS 2 AGGREGATE BASE	1,100	SF	15.00	100	\$16,500	
	SEWER PIPE	100	LF	50.00	100	\$5,000	
	WATER PIPE	100	LF	25.00	100	\$2,500	
	RECYCLED WATER PIPE	450	LF	25.00	100	\$11,250	
	PREMANUFACTURERED BUILDING	1	LS	175000.00	100	\$175,000	
	ELECTRICAL CONDUIT	500	LF	35.00	100	\$17,500	
	OTHER						

ONSITE IMPROVEMENTS SUBTOTAL: \$242,750

MISCELLANEOUS:						
EROSION CONTROL MEASURES	1	LS	10000.00	100	\$10,000	
OTHER						

MISCELLANEOUS: SUBTOTAL: \$10,000

AC ACRE
CY CUBIC YARD SUBTOTAL: 289,250

EA EACH CONTINGENCIES & INFLATION %: 20 57,850

LF LINEAR FOOT ENGINEERING ADMINISTRATION %:

LS LUMP SUM TOTAL: 347,100

SF SQUARE FOOT

HR HOUR



#### NOTES:

- 1 This estimate has been prepared for public works bonding purposes only. The contractor / owner is responsible for providing independent cost and quantities.
- 2 The unit prices in this estimate are derived using the 2020 BNI Public Works Cost Book.
- 3 In the event that additional items are encountered during the bidding process, contact the engineer for clarification.

# CAMBRIA'S

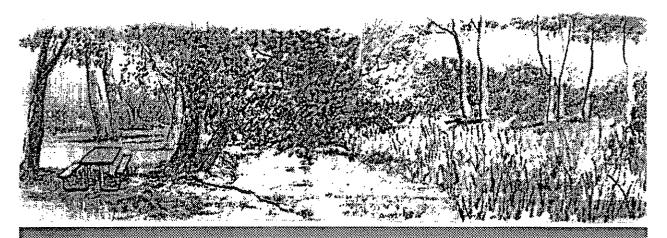
# PARKS, RECREATION & OPEN SPACE

# MASTER PLAN



# Prepared for the Cambria Community Services District

Adopted November 21, 1994



# Community Services District Board of Directors

John Angel
Peter Chaldecott
Patrick Child
Helen May
Reginald R. Perkins

# Park, Recreation & Open Space Commission

Richard Breen, Vice Chairman (Public Relations & Parks Committees)

David Brown (Chair Parks Committee)

Karen Duncan (Chair Recreation Committee)

Woody Elliott (Chair Open Space Committee)

Henry Kluck, Chairman (Open Space Committee)

Lynda Olsen-Adelson (Chair Public Relations Committee)

Hank Zebley (Recreation Committee)

# Cambria Community Service District Staff

David Andres, General Manager CCSD Jeanette Di Leo, Coordinator

Adopted by the CCSD Board of Directors November 21, 1994

#### **EXECUTIVE SUMMARY**

Cambria is a picturesque community. An integral component of Cambria's beauty is its internal features, the lush Santa Rosa Creek corridor and rolling hillsides covered with Monterey pine forests. Adding to Cambria's internal beauty are the town's surrounding open areas composed of mountains dotted by oak woodlands, vast agricultural lands, and scenic beaches. These features define Cambria's charm and character. It is Cambria's beauty and uniqueness that have maintained the community's local population, attracted newcomers, and generated a flourishing tourist industry.

As communities prosper it is important that adequate planning occur to provide needed facilities and protect local features. These local features include amenities such as parks, recreation and open spaces. Such features protect a community's quality of life and its economic viability. Without adequate preservation of these features a community's character and quality of life may be lost.

This Master Plan is a tool to establish adequate park, recreation and open space resources within the Cambria community for the use and enjoyment of all its citizens and its visitors. Identified in the Master Plan are park, recreation and open space projects; management and maintenance objectives; funding sources; and criteria for acquisition. The Cambria Community Services District (CCSD) would administer this plan, providing local responsibility and authority. It is expected local control would (a) increase the likelihood of a local revenue source for park, recreation and open space projects, (b) stimulate community involvement and participation, and (c) provide more public facilities. A summary of the Master Plan's goals and objectives are attached (see page iii). In general the long-range vision of this plan is to:

- Provide adequate park, recreation (including trails) and open space areas within Cambria.
- Protect Cambria's character and quality of life for existing and future residents.
- Maximize the use of existing facilities through joint use agreements with public and private agencies.
- Maximize the community's involvement in the development of park, recreation and open space projects.

#### SUMMARY OF GOALS & OBJECTIVES

The Park, Recreation and Open Space Master Plan has five goal statements and a series of objectives, and implementing policies. The Plan's goals and objectives are listed below:

GOAL 1. Provide a high quality public park system with adequate park acreage and varied recreational opportunities that are accessible to all Cambrian residents.

#### Objectives:

- A. Bring the amount of Cambria's parkland into compliance with this plan's standards.
- B. Acquire adequate park sites for Cambria's future growth.
- C. Design park and recreation facilities which will enhance community identity and which will serve the recreation needs of Cambrians of all ages, economic situations and physical abilities.
- D. Maximize opportunity for joint use of public lands and private facilities that are suitable for community park and recreation use.
- E. Provide park sites consistent with Cambria's diverse needs.
- F. Provide a multi-use trail system throughout Cambria.
- G. Provide trail corridors which link parks, open space, recreation areas, neighborhoods, and commercial centers.
- GOAL 2. Provide a diversity of recreational, creative and cultural programs and experiences for all age groups, and provide these programs and experiences at facilities that are accessible to varying age groups, economic situations and physical abilities.

## Objectives:

- A. Provide adequate indoor and outdoor recreation opportunities for existing and future populations.
- B. Provide a range of basic recreation opportunities throughout the community such as, but not limited to, playgrounds, picnic areas and grass play fields, and provide some specialized recreation opportunities such as, but not limited to, play courts, ball fields and swimming pools in various areas of Cambria's parkland.

- C. Maximize recreation opportunities by utilizing joint use agreements.
- D. Provide adequate indoor community recreation facilities.

# GOAL 3. Create and preserve an open space system in Cambria to conserve, restore and enhance local resources and provide passive recreation.

#### Objectives:

- A. Protect and enhance Cambria's significant resources and aesthetic qualities to maintain Cambria's character, quality of life and economic viability.
- B. Provide community education and passive recreation (such as trails, viewing platforms, and benches) in open space areas as long as resources can be maintained in essentially a natural state.
- C. Provide open space sites that protect significant resources for the appreciation of current and future populations.
- GOAL 4. Manage park, recreation and open space lands and facilities efficiently while maintaining the quality of District resources and programs.

#### Objectives:

- A. Provide for community involvement, public education and appreciation of park, recreation and open space lands and facilities.
- B. Plan for the management, acquisition and development of future park, recreation and open space systems to meet present and future Cambrian needs.
- C. Allow uses on park, recreation and open space lands that balance recreation needs with resource protection.
- D. Manage and maintain park, recreation and open space lands and facilities in a responsible manner.
- E. Provide adequate safeguards to make park, open space and recreation lands and facilities good neighbors and safe for community use.
- GOAL 5. Structure an implementation program for achieving the policies of this master plan through a combination of public and private funds, regulatory processes, and innovative strategies.

Cambria's Parks, Recreation & Open Space Master Plan

#### Objectives:

- A. Develop a multi-source financing program for park, recreation and open space acquisition and development.
- B. Use park, recreation and open space funds to provide priority projects.
- C. Use acquisition methods which maximize the CCSD funds available.
- D. Utilize a variety of methods to obtain park, recreation and open space lands and facilities.
- E. Fund necessary program personnel to operate and maintain a Park, Recreation and Open Space Department.

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# Chapter I

# INTRODUCTION



#### CHAPTER I - INTRODUCTION

The purpose of this Park, Recreation and Open Space Master Plan is to provide adequate park, recreation and open space lands for Cambria's existing and future populations. The Cambria Community Services District (CCSD) would administer this Master Plan and thus provide local responsibility for the development and management of Cambria's park, recreation and open space lands and facilities.

The Master Plan is arranged into six chapters. This Chapter, Chapter I, serves as the introduction providing background data. Chapter II provides goals, objectives and standards for park and trail projects. Chapter III discusses recreation standards and projects. Open space projects are discussed in Chapter IV. Chapter V presents guidelines for CCSD's management of park, recreation and open space lands. How these lands and facilities should be acquired is discussed in Chapter VI.

#### Background

The community of Cambria was established in the late 1860s by shipping, mining and agricultural interests. By the late 1870s the town of Cambria had grown, obtaining a population of approximately 300. At this time Cambria was the second largest town in the County (second only to San Luis Obispo, the County seat), with 1,000 to 2,000 hill and coastal inhabitants dependent on Cambria for supplies and business transactions. The extension of the railroad into San Luis Obispo in 1894 caused the rapid decline of coastal shipping from Cambria. As a result, Cambria, isolated by mountains and a bad road ceased to be the second largest community in the County by the turn of the century. By 1924, Cambria's mining industries had declined, leaving farming as the area's principal industry. In 1958, when the California Department of Parks and Recreation opened the William Randolph Hearst estate at San Simeon to the public the tourist boom in Cambria began.<sup>1</sup>

Similar to other scenic coastal communities, Cambria has grown steadily over the years. By 1990 Cambria's population had increased to 5,382 residents. In the ten year period from 1980 to 1990 Cambria's population grew by 70% whereas the County of San Luis Obispo's population grew by only 47 percent. It is projected that by the year 2010 Cambria will have a permanent population of 8,481 persons.<sup>2</sup> According to 1990 census data, Cambria's current population is primarily within the age groups 18-64 (58%) and over 65 (24%). The community's major economic base is tourism, with most of the local work force involved in the service and retail trades. Due to Cambria's

1

<sup>&</sup>lt;sup>1</sup> Hamilton, Geneva, Where the Highway Ends, Williams Printing Co, Cambria, California, 1974.

<sup>&</sup>lt;sup>2</sup> San Luis Obispo County Department of Planning and Building, *Public Review Draft, North Coast Area Plan*, San Luis Obispo, March 1993. The North Coast Planning Area (which includes Cambria, San Simeon and the rural areas surrounding these communities) is anticipated to have a population of approximately 9,357 by the year 2010, with most of the growth occurring in Cambria's area.

pleasant natural setting and location near Hearst Castle, Big Sur and other attractive tourist destinations, it is expected the retail and service trades will remain the community's economic base.

The provision of parks, recreation and open spaces has not kept pace with Cambria's development. Within the community, park and open space opportunities consist primarily of shoreline trail segments, open beaches, and two small County parks (i.e., Shamel and Lampton). As the community continues to grow there is local concern that adequate park, recreation and open space facilities will not be available for current or future Cambrian populations.

#### **Community Participation**

In 1990, as a result of community concern, the Cambria Community Services District Board of Directors (Board) held public meetings to discuss Cambria's park, recreation and open space needs. At this time the Board established an Advisory Committee to discuss the possibility of creating a community based Parks, Recreation and Open Space Department. In 1992 the Advisory Committee contracted for a community survey to better assess community interest and demand for park, recreation and open space services. Results from the community survey<sup>3</sup> indicated tremendous support for additional park, recreation and open space areas, and indicated support for local sponsorship of park, recreation, and open space programs. The Cambria Community Services District (CCSD) received the highest level of support for sponsorship. In addition, survey results indicated 62% of the respondents were willing to pay some monies to establish additional park, open space, and recreation facilities.

In late 1992, based on survey results, Advisory Committee recommendations, and public input the CCSD Board established a Parks, Recreation & Open Space Commission (PROS). Throughout 1993 the Commission has held public meetings to discuss park, recreation and open space issues and has been actively involved in the development of this Park, Recreation and Open Space Master Plan. To augment community interaction meetings have been noticed, and a newspaper survey<sup>4</sup> and needs assessment were conducted. This Master Plan represents the work of the Parks, Recreation and Open Space Commission, the CCSD staff, and members of the public. The intent of the Parks, Recreation and Open Space Commission in writing this Master Plan is summarized below in the Commission Mission Statement (adopted October, 1993):

Cambria's Parks, Recreation and Open Space Commission (PROS) is dedicated to the acquisition, development and maintenance of a comprehensive park system, recreational facilities, open space and trails in Cambria.

PROS develops recreation programs offering a wide variety of active and passive leisure opportunities.

<sup>&</sup>lt;sup>3</sup> The 1992 survey was mailed to 400 Cambrian residents. Sixty-one percent of the randomly selected respondents replied.

 $<sup>^4</sup>$  The newspaper survey was conducted in the summer of 1992. Sites recommended by the public are included in Appendix A.

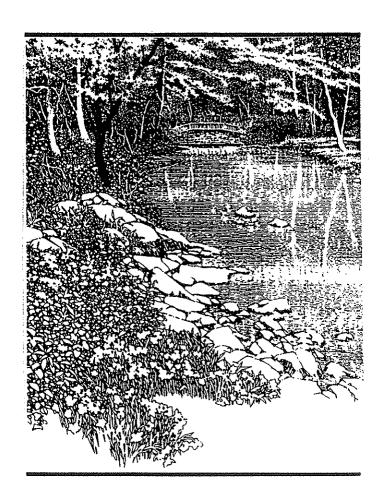
Cambria's Parks, Recreation & Open Space Master Plan

PROS coordinates existing recreational facilities and programs to maximize efficiency and avoid duplication of effort.

PROS strives to protect the physical environment of Cambria through acquisition, preservation and enhancement of open space.

PROS promotes community support and solicits input from all Cambria residents regarding parks, recreation and open space.

# Chapter II PARKS & TRAILS



#### **CHAPTER II - PARKS & TRAILS**

#### Introduction

Parks are an essential component of a community. Just as a community must plan for its commercial, residential and industrial land uses, it must also plan for its parks and natural areas. Parks provide local amenities such as essential active and passive recreation areas, a visual contrast to the surrounding developed environment, and an area for relaxation and enjoyment for all age groups. Studies have found that a community's local economy is strengthened if it contains high-quality park, recreation and open space systems.<sup>5</sup> These facilities are amenities that local citizens enjoy and attract tourist dollars that strengthen the local economy. In addition, communities containing well-developed and attractive park and recreation systems generally rate higher on a quality of life scale than communities that do not.<sup>5</sup>

As noted in Table 1, public parklands within Cambria consist of County and California Department of Parks and Recreation (CDPR) owned and managed facilities. The County maintains Shamel and Lampton Parks. These parks provide primarily passive recreation although Shamel Park does provide children's play equipment and a swimming pool. The CDPR administers San Simeon State Park which includes Leffingwell Landing, the bluffs along Moonstone Beach Drive, Santa Rosa Creek Access, and the bluffs along Nottingham Drive. CDPR parks are located along the ocean frontage, containing various recreation facilities (such as bluff trails, benches, viewing areas and beach access). It is within existing public parks and along Cambria's roadways that the few trails within the community are located.

Private parkland within Cambria includes Camp Yeager, the YMCA Camp, and Andy's Garden. Camp Yeager and the YMCA Camp provide facilities primarily for group camping, and at this time are not available as public park sites. Andy's Garden is a private park open to the public which contains landscaping and benches. For a description of

Table 1 Existing Parks Within Cambria (Public Facilities) Park Name **Jurisdiction** Acres Parkland\* County of Shamel 6.0 SLO 2.1 Lampton Leffingwell California Department of Landing 30.0 Parks & Moonstone Recreation Beach Drive (CDPR) Santa Rosa Creek Access 3.0 Nottingham Bluffs County of Coastal 4.3 SLO and Accessways CDPR 45.4 TOTAL

This column includes acres used for parks and recreation. Shoreline area is considered open space and is not included in this calculation.

Cambria's existing park, recreation and open space sites and facilities see Appendix B.

<sup>&</sup>lt;sup>5</sup> State of California, Department of Parks and Recreation, *California Outdoor Recreation Plan - 1988*, Sacramento, California, November 1988.

Table 2 provides National Recreation and Park Association (NRPA) guidelines for various park types. As can be seen by comparing Tables 1 and 2, Cambria has limited park acreage. Currently Cambria has approximately 45 acres of parkland. To be consistent with NRPA guidelines, park acreage should be approximately 172 acres. By the year 2010, Cambria's park acreage should increase to a total of 272 to 299 acres (depending on Cambria's population in 2010). Although NRPA guidelines are not standards, they do provide communities with some reference point or goal for park acreage. As with any

	Cambria?	Tabl Park Needs	e 2 (Existing &	Future)	
Facility Type	Standard <sup>1</sup> (Acres to Population)	Populatio	's Existing on in 1990 382) <sup>2</sup>	Cambria's Future Population Year 2010 (8,481-9,357) <sup>2</sup>	
		Need in Acres	Number of Parks	Need in Acres	Number of Parks
Linear & Mini Parks	No standard provided.				
Neighbor- hood Park (NP)	6 acres per 1,000 population	32 acres	5 NPs (each ~6 acres)	51 - 56 acres	5 NPs (each -10.2 - 11 acres)
Community Park (CP)	6 acres per 1,000 population	32 acres	1 CP	51 - 56 acres	2 CPs (~30 acres each)
Regional Park (RP) <sup>3</sup>	20 acres per 1,000 population	108 acres	1 RP (should be -200 acres)	170-187	1 RP (~200 acres)
TOTAL		172 acres		272 - 299 acres	

<sup>&</sup>lt;sup>1</sup> Standards are from the National Recreation and Park Association, Recreation, Park and Open Space Standards and Guidelines, 1983.

community resource, Cambria's parkland deficit cannot be rectified overnight; however, by maximizing the use of existing facilities (such as schools), obtaining new parks and trails with larger development, and by purchasing additional parklands Cambria's existing and future park needs could be met.

GOAL #1. Provide a high quality public park system with adequate park acreage and varied recreational opportunities that are accessible to all Cambrian residents.

## 2.1 Park Acquisition & Development

#### Objectives:

A. Bring the amount of Cambria's parkland into compliance with this plan's standards.

Population figures are from the San Luis Obispo County Planning and Building Department, Public Review Draft North Coast Area Plan, San Luis County, March 1993.

<sup>&</sup>lt;sup>3</sup> A regional park would serve Cambria, Cayucos, San Simeon, Morro Bay as well as rural areas surrounding these communities.

- B. Acquire adequate park sites for Cambria's future growth.
- C. Design park and recreation facilities which will enhance community identity and which will serve the recreation needs of Cambrians of all ages, economic situations and physical abilities.

#### **Implementing Policies:**

- 2.1.1 Maximize the use of existing public or quasi-public facilities to provide additional park sites such as existing or proposed school sites, state lands, Camp Yeager, and the YMCA Camp.
- 2.1.2 Coordinate new parkland acquisition and development with public and private sector development proposals when feasible.
- 2.1.3 Acquire land for parks and preserves in advance of urban growth and development. Some land may be acquired and left undeveloped (as open space) until funding becomes available.
- 2.1.4 Concentrate park acquisition, development and rehabilitation efforts on sites larger than one acre, except where significant resources merit protection or where a mini-park or linear park (a) contributes to a scenic roadside character, (b) provides the only available or likely available park site in a neighborhood, (c) provides a trail connection, or (d) connects existing or potential park sites, open space and/or recreation areas.
- 2.1.5 Acquire and develop parkland consistent with the National Recreation and Park Association (NRPA) standards in Tables 3 and 4 (see pages 11 and 12).
- 2.1.6 Design and locate parks and recreation consistent with the Project Summary contained in Appendix C (see page C-1).

# 2.2 Joint Use Projects (Parks)

#### **Objective:**

D. Maximize opportunities for joint use of public lands and private facilities that are suitable for community park and recreation use.

## Implementing Projects:6

- 2.2.1 Establish joint-use agreements with school facilities to augment parklands where feasible.
  - a. <u>Coast Union High School</u>. Establish a joint use agreement with Coast Union High School. The joint use agreement should provide for community utilization of existing school facilities, and additional new recreational facilities for community use. In addition,

<sup>&</sup>lt;sup>6</sup> Refer to the Cambria Park, Recreation and Open Space Map for the location of these projects (see page 22).

- utilize the school site and adjacent lands to develop a community park.
- b. <u>Santa Lucia Middle School</u>. Establish a joint use agreement to provide community utilization of existing school facilities. In addition, obtain additional land around the school to create a neighborhood park and to augment recreational opportunities.
- c. <u>Cambria Grammar School (on Main Street)</u>. Establish a joint use agreement to provide community utilization of existing school facilities. If Cambria Grammar School relocates to another site pursue this site as a community park and/or center.
- d. <u>Future School Facilities</u>. At any future school facility, design a neighborhood or community park as part of the new school facility and arrange for joint use of school recreation facilities.
- 2.2.2 Establish joint-use agreements with other public or private agencies to augment parkland where feasible.
  - a. <u>Camp Yeager</u>. Establish a neighborhood park or public recreation facility at this site through a joint use agreement.
  - b. <u>YMCA Camp (Camp Ocean Pines)</u>. Establish a park and/or a public recreation facility at this site through a joint use agreement.
  - c. <u>State Lands</u>. Consider potential park or recreation uses in conjunction with CDPR park facilities. Establish a joint use agreement with CDPR to provide benches or improved trails as deemed necessary by the community.
  - d. <u>County Parks</u>. Consider potential park or recreation uses in conjunction with County park facilities. Establish a joint use agreement with the County to provide additional parkland and recreation within Cambria.
  - e. Andy's Garden. Support Andy's efforts to maintain this area as a park. Establish a joint use agreement (as necessary) or an endowment fund to maintain community use of this site as a park indefinitely.
  - f. <u>Pacific Pines Homeowner's Association.</u> Consider potential park, recreation and open space uses in conjunction with the Pacific Pines Homeowner's Association. Consider a joint use agreement with this Association to provide additional park, recreation and open space opportunities.
  - g. Other Facilities. Consider neighborhood churches and other private or public facilities (containing large yard areas and/or recreation opportunities) that may be able to provide park and recreation opportunities. If such facilities are available and can provide meaningful park and/or recreation opportunities, establish a joint use agreement with such facilities.

#### 2.3 Mini-, Linear, Neighborhood, Community and Regional Parks

#### Objective:

E. Provide park sites consistent with Cambria's diverse needs.

#### Implementing Projects:7

- 2.3.1 Investigate an East-Village downtown mini-park or museum. As part of the facility, involve local citizens and the Chamber of Commerce to develop a visitors' map outlining a historic walk through Cambria. Provide facilities at this downtown location consistent with the downtown's scale and character.
- 2.3.2 Throughout various neighborhoods in Cambria provide neighborhood, linear or mini-parks. Lodge Hill should have priority for a park site(s) since existing and proposed facilities in this area are limited due to the neighborhood's existing density and the potential for future development. See Appendix D for a list of potential park and/or open space sites.
- 2.3.3 Along Santa Rosa Creek create:
  - a. The Santa Rosa Creek Parkway. This park would be a linear park extending from Coast Union High School to Shamel Park. The linear park should provide sufficient width for creek protection (open space), a multi-use trail, and periodic recreation facilities (such as benches, viewing platforms, and tot facilities).
  - b. The Coast Union High School Community Park. Adjacent to the High School, create a community park consistent with Policy 2.2.1 (a).
  - c. The Rodeo Grounds Road Community Park. Within the downtown area, near the floodplain of Santa Rosa Creek, provide a community park (between Rodeo Grounds Road and Highway 1).
- 2.3.4 Create a Cambria Regional Park. This park would be located within the Cambrian area. Cambria's Regional Park should be approximately 200 acres. The CCSD should work with the County of San Luis Obispo, CDPR, and private property owners to create this park. Cambria's Regional Park may include such facilities as a golf course, trail system, tennis courts, an open air theater, environmental center, and picnic facilities. The first phase of this project may be a community park.
- 2.3.5 Create a Municipal Golf Course. A golf course should be located within close proximity of the Cambria community. Onsite or municipal services and infrastructure should be readily available. Site considerations should include appropriate terrain and parcel size conducive to a golf course layout. The golf course may be located in close proximity to the regional park

<sup>&</sup>lt;sup>7</sup> Refer to the Cambria Park, Recreation and Open Space Map for the location of these projects (see page 22).

in order for joint use of facilities and infrastructure.

#### 2.4 Trail Acquisition & Development

#### Objective:

F. Provide a multi-use trail system throughout Cambria.

#### Implementing Policies:

- 2.4.1 Provide for trails (as logical) when negotiating new or existing CCSD easements (such as sewer and water).
- 2.4.2 Where feasible provide trails connecting neighborhoods, commercial and recreation areas. Accomplish this by working with:
  - a. Landowners and holders of utility easements to provide trail connections and corridors. Only obtain trails from willing landowners.
  - b. Neighborhoods to improve the ten foot right-of-ways created by Cambria's original subdivisions.
- 2.4.3 Design trails for multi-use whenever possible
- 2.4.4 Encourage the County to:
  - a. Receive trail dedications and easements as a condition of large, new development, and
  - b. Plan and develop trails along major thoroughfares for safe pedestrian/bicycle transit.

#### 2.5 Trail Projects

#### Objective:

G. Provide trail corridors which link parks, open space, recreation areas, neighborhoods, and commercial centers.

#### Implementing Projects:8

2.5.1 <u>Strawberry Canyon Trail.</u> Create a multi-use trail through Strawberry Canyon that connects Randall Drive to Burton Drive. The trail should be located within an open space corridor, trail corridor or park (neighborhood or linear).

<sup>&</sup>lt;sup>8</sup> Refer to the Cambria Park, Recreation and Open Space Map for the location of these projects (see page 22).

- 2.5.2 <u>Ramsey Trail.</u> Provide a multi-use trail along Highway 1, connecting Ramsey Avenue with the proposed Santa Rosa Creek Trail.
- 2.5.3 <u>Moonstone Beach Trail.</u> Work with CDPR, the County and adjacent property owners to develop a multi-use trail along Moonstone Beach Drive. The trail should extend from Highway 1 to Windsor Boulevard.
- 2.5.4 <u>East-West Ranch Trails.</u> Work with the owners of East-West Ranch to develop multi-use trail connections as part of the site's development. The trails should connect area neighborhoods (Park Hill, Marine Terrace, and Lodge Hill) and provide access to the new school, park and open space areas.
- 2.5.5 North-East Cambria Trail. Work with the owners of the Leimert Tract and C.T. Ranch property to develop multi-use trail connections. Trails should connect the Leimert Tract with Camp Yeager, northern neighborhoods (i.e., Happy Hill and Pine Knolls) and Bridge Street.
- 2.5.6 Santa Rosa Creek Trail. Develop a multi-use trail adjacent to the Santa Rosa Creek corridor extending from Coast Union High School to Shamel Park as part of the Santa Rosa Creek Parkway project. The Santa Rosa Creek Trail is included within San Luis Obispo County's Trail Plan.
- 2.5.7 Sibley Ranch Trails. Provide the following multi-use trails:
  - a. <u>Sibley Ranch Trail.</u> A trail which connects Lampton Park the YMCA Camp and Strawberry Canyon.
  - b. Sibley Ranch Lake and Ridge Trail. As a first priority provide a trail connecting the YMCA Camp with Sibley Ranch Lake. Consider extending this trail toward the former Air Force Station and eventually to Highway 1.
- 2.5.8 Valley View Trail. Provide a multi-use trail connecting Gleason Street to Preston Street.
- 2.5.9 <u>Santa Lucia Trail.</u> Provide a multi-use trail connecting Santa Lucia Middle School to the Santa Rosa Creek Trail.
- 2.5.10 <u>Cambria Loop Trail.</u> Provide a multi-use trail connecting Camp Yeager to San Simeon State Park. This trail should include a connection to the Moonstone Beach Trail near the Hamlet Restaurant as well as a connection to CCSD property located along San Simeon Creek.
- 2.5.11 <u>Fern Canyon Trail.</u> Provide a multi-use trail connecting Ardath Drive to Highway 1 and Highway 1 to the East-West Ranch trail near Trenton Drive.
- 2.5.12 <u>Pine Street Trail.</u> Provide a multi-use trail connecting Pine Street to the Santa Rosa Creek Trail.

# Cambria's Parks, Recreation & Open Space Master Plan

		The state of the s	Table 3 - PARK STANDARDS	NDARDS	
Park Type	Description	Typical Size	Typical Facilities May Include:	Recreation Standard	Design
Linear Parks	Such parks are developed along natural or built corridors.	Sufficient width for resource protection, recreation, and trail corridor.	Benches, individual picnic tables, and pedestrian, horseback riding, and/or bike corridors. Facilities are dependent upon corridor size and location.	Linear parks should be long enough to provide (a) recreation and park area or open space appreciation, and (b) a trail corridor.	Linear Park recreation facilities should be setback from adjacent residential or commercial development and natural resources (such as creeks). Access points should be adequately planned and provided for.
Pocket Park or Mini- Park	Specialized facility serving a limited population or specific group (such as tots or senior citizens).	0.25 to 1 acre³	Play apparatus for small children, benches and small picnic areas, turf, and landscaping.	Serving primarily residences within less than 1/4 mile radius. Mini- and pocket parks should be provided primarily when neighborhoods have been built-out and other park facilities (such as neighborhood or community parks) are not in near proximity or cannot be provided due to land constraints. If mini-parks are provided in instead of a neighborhood park because of land constraints, to the extent feasible mini-parks should be spaced to provide each segment of the neighborhood with park facilities.	Enhance a neighborhood area which has limited park opportunities and a large tot or senior citizen population.
Neighbor- hood Park (NP)	A park which serves primarily one neighborhood. NPs provide facilities for all ages, and include passive and active recreation areas.	1 to 10 acres <sup>3</sup>	Open turf area, small picnic area, paths, play equipment for children, multi-use game courts, drinking fountain, benches, restrooms, parking, and landscaping.	6 acres per 1,000 people in a given neighborhood. Serves a neighborhood. Should be within roughly 1/4 to 1/2 mile radius of neighborhood being served.	Roughly half the area will be developed for active recreation; half will be developed as passive space.
Community Parks	A park serving the community or numerous neighborhoods.	Roughly 20 to 30 acres.	Large children's play area, reserved picnic facilities, turf areas, community building. May include tennis courts, outdoor concert area, parking, restrooms, and other special facilities.	6.0 acres per 1,000 Cambria residents. Serving the community of Cambria or numerous Cambria neighborhoods.	Central location preferred; however, a community park may be located on land near the perimeter of the CCSD. Natural areas or community resources should be preserved and enhanced.
Regional Parks	Regional parks serve several communities, providing areas for outdoor recreation including picnicking, boating, fishing, swimming, and hiking.	100 to 200+ acres	Regional         Regional parks serve         100 to 200+ acres         Large open space areas, large group         20 acres per 1,000           Parks         geveral communities, several communities, providing areas for outdoor recreation including picnicking, boating, fishing,         100 to 200+ acres         20 acres per 1,000           picnic facilities, nature center, trail system, scenic drive, campgrounds, outdoor recreation including picnicking, age groups, tennis courts, parking, and hiking.         serve Cambria and proximity).         serve Cambria and proximity).	20 acres per 1,000 population. Serves several communities within one hour driving time. Located to serve Cambria and northern San Luis Obispo County (e.g., Cayucos, San Simeon and areas in close proximity).	Centrally located service and information center, typically includes onsite ranger (with residence).

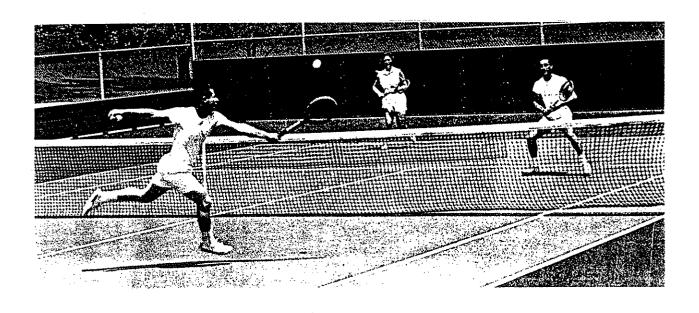
Source: The National Recreation and Park Association (NRPA), Recreation, Park and Open Space Standards and Guidelines, 1983.

\* Park sizes have been adjusted downward from the NRPA standards since Cambria's neighborhoods had very limited vacant land for park sites.

Cambria's Parks, Recreation & Open Space Master Plan

	Related Park	Table 4 Related Park Types and Facilities
Facility	Comments	Criteria for Credit As Park Site
Schools	Schools provide recreation opportunities for certain age groups.	Credit for school yard as park space is given on a one-to-one basis only when they are used jointly by the school and the CCSD. Schools should be considered as part of Cambria's park system only if a joint use agreement is in effect for the particular school.
Centers	Four types of centers may exist: (1) small multi-use centers in neighborhoods, (2) large centers which provide for organized activities for all Cambrian residents and are strategically located to serve the existing and future Cambria population, (3) centers which provide for specialized activities in the cultural or creative arts, thereby also serving a regional population, and (4) Olympic Centers which serve a large population from outside the Cambria area.	A center is not a park since it does not provide the range of recreation options present in parks. A neighborhood or larger park may contain a center.
Golf Courses	Golf courses are special facilities which help meet regional recreation needs. On easily developed land, the minimum effective size for a 9-hole course is 50 acres and for an 18-hole course is 125 acres.	A regional park might contain a golf course.
Trail Corridors (Multi-use)	Trails should be: (1) developed as separate paths as a recreation experience in themselves, (2) developed as key links from isolated neighborhoods to parks, and (3) should connect other park, open space and recreation facilities when feasible. Staging areas should be provided at suitable intervals.	Should not be considered a park by themselves.
Private Open Space	Requirements for open space in developments is a zoning issue. Developers should be encouraged to include usable recreation space in high-density housing projects to offset the lack of private yard space normally used for family recreation. This would vary according to the number of children expected to live in the development.	Private open space is not considered park space.

# Chapter III RECREATION



#### CHAPTER III - RECREATION

#### Introduction

Recreation opportunities are important within a community. Such activities, which range from a rural trail located in a nature preserve to an intensely developed park site, provide direct and indirect community benefits. Direct benefits include the availability of physical activities, skill development, and education for all age categories. For instance, day camps and other programs for young people provide information about the natural environment and encourage the sharing of ideas. Athletic fields and court facilities provide opportunities for friendly competition and physical exercise, and community centers may provide the setting for cultural and educational events such as art shows, community theater, ethnic fairs and historical displays.

The availability of leisure activities also contributes indirectly to a community. Indirect benefits include personal enrichment and a higher quality of life. Such benefits occur through such activities as a walk along a scenic vista or the individual exhilaration of successfully completing a sport's event. Another indirect benefit is economic vitality. Recreation facilities may increase a community's tourist dollars. As noted in the *California Outdoor Recreation Plan*, in 1988 California's recreation and leisure industry was the third largest industry in the state. More than \$30 billion per year is spent by Californians on recreation and leisure, and it is anticipated recreation demands will only increase in the future. Due to factors such as leisure and economic constraints, physical fitness needs, and family trends it is anticipated recreation demand will increase primarily at the community level.

Public outdoor recreation facilities in Cambria are located in CDPR and County parks. Since parklands are sparse, Cambria's outdoor recreation facilities are limited. County and State outdoor recreation facilities primarily consist of passive recreation (trails, picnic facilities, and benches for ocean viewing). Local indoor recreation facilities include public facilities such as the Veteran's Memorial Building, school facilities, and private facilities such as the Joslyn Center, the Youth Center, the YMCA Camp, Camp Yeager, and Cambria Pines Lodge. The Veteran's Memorial Building is owned and operated by the CCSD. School facilities are operated by County Schools, and the remaining facilities are privately operated. See Appendix B for a list of existing activities available at individual facilities.

Similar to parks, indoor and outdoor recreation opportunities could be augmented in Cambria by maximizing the use of existing facilities. For example, the CCSD could form a joint use agreement

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<sup>&</sup>lt;sup>9</sup> State of California, Department of Parks and Recreation, California Outdoor Recreation Plan - 1988, Sacramento, California, November 1988.

Within the United States there is a growing number of single parent households and two-parent households with both spouses working full-time. In addition, seniors seem to be continuing an active lifestyle into later years. These trends result in more dependence on local recreation facilities.

with the school district. Such an agreement could provide public access to school facilities during summer months and during evenings when local schools are not in session. This access would be provided by the CCSD paying a fee and/or the CCSD providing additional onsite recreation. A joint-use agreement in this case might provide additional community recreation, school revenues, and additional school recreation facilities. Such agreements may benefit the community and the grantor of a joint-use agreement.

Goal #2. Provide a diversity of recreational, creative and cultural programs and experiences for all age groups, and provide these programs and experiences at facilities that are accessible to varying age groups, economic situations and physical abilities.

#### 3.1 Recreation Development

#### Objectives:

- A. Provide adequate indoor and outdoor recreation opportunities for existing and future populations.
- B. Provide a range of basic recreation opportunities throughout the community such as, but not limited to, playgrounds, picnic areas and grass play fields and provide some specialized recreation opportunities such as, but not limited to, play courts, ball fields and swimming pools in various areas of Cambria's parkland.

#### Implementing Policies:

- 3.1.1 Preserve and enhance existing community recreation by upgrading existing facilities, utilizing joint use agreements, encouraging joint public-private development of needed recreation facilities, and obtaining new facilities as they are needed.
- 3.1.2 Develop a balanced recreation program that provides activities for all age groups.
- 3.1.3 Utilize surveys and other methods to regularly evaluate park and recreation programs and to determine the extent of their use and support
- 3.1.4 Expand recreation programs for which there is a large demand. The more specialized a recreation program, the more financially self-supporting it should become.
- 3.1.5 Include special need groups (such as teens) in the design and management of programs for such special need groups.
- 3.1.6 Provide recreation in mini-, linear, neighborhood, community and regional parks consistent with this plan and the NRPA standards in Tables 3, 4, and 5 (see pages 11, 12 and 17).
- 3.1.7 Provide adequate recreation facilities and resource protection by designing, locating and maintaining recreation areas consistent with Appendix C, the Project Summary (see page C-1).

#### 3.2 Joint Use Projects

#### Objective:

C. Maximize recreation opportunities by utilizing joint use agreements.

#### Implementing Projects:

- 3.2.1. The CCSD should develop cooperative agreements with the school district, the YMCA camp, Camp Yeager, State Parks, Joslyn Center, Youth Center, the former Air Force Station, local utilities and other similar agencies to provide park, recreation and open space areas throughout the CCSD service area. Such agreements may be with public or private agencies as long as sufficient public access is provided.
- 3.2.2 Work with the County, State and other agencies to coordinate recreation planning and development, including joint recreation projects.
- 3.2.3 Develop a program for joint CCSD/business or CCSD/developer projects. These projects should provide community recreation and possible revenue for CCSD park, recreation and open space purchases or maintenance. For example, work with private developers and property owners to develop a golf course. Monies from this project (such as a "tee off fee") should be utilized for open space, recreation or park purchases.
- 3.2.4 Establish a joint use agreement as necessary to expand recreational facilities at Cambria Pines Lodge for community use.

#### 3.3 Community Centers

#### Objective:

D. Provide adequate indoor community recreation facilities.

#### **Implementing Projects:**

- 3.3.1 Provide at least one large community center within Cambria or provide a combination of centers that together meet indoor recreation needs. This may be done by:
  - a. As a first priority, upgrading the Veteran's Memorial Building to provide more indoor recreation opportunities and rehabilitating the outside grounds to make the center an attractive part of Cambria and utilizing joint-use agreements (at other facilities) to provide additional indoor recreation opportunities.
  - b. As a second priority, obtaining existing facilities that have good indoor recreation opportunities.

c. As a third priority, obtaining new, centrally located facilities for indoor recreation.

If option b or c become necessary, existing or new facilities should be large enough to accommodate 200 to 300 people, provide adequate indoor recreation space that may also be utilized for events (such as weddings, art shows, and performing arts). Such facilities may also be used to consolidate existing public facilities (such as the library and adult education). The acquisition of existing or new facilities should be obtained through community monies, private donations, and similar methods.

Cambria's Parks, Recreation & Open Space Master Plan

		The state of the s	TA IN FACILITY	TABLE 5 RECREATION FACILITY DEVELOPMENT STANDARDS
Activity/Facility	acility	Recommended Space Requirements	Desired Facilities by 1999	Location Notes (Outdoor Facilities) <sup>2</sup>
Basketball		5,040 - 7,280 square feet (sf)	·. 55	Outdoor courts in neighborhood and community parks, or within a school if there is a joint-use agreement.
Tennis		Minimum 7,200 sf single court (2 acres for complex)	9	Best in batteries of 2-4. Located in a neighborhood or community park or within a school if there is a joint-use agreement.
Volleyball		Minimum 4,000 sf	5	Same as other court activities (e.g., basketball, etc.)
Baseball:	Official	3.0 - 3.85 acres minimum	3	Part of a neighborhood complex. Lighted fields part of community complex or
	Little League	1.2 acres minimum		Within a school it there is a joint-use agreement.
Football		Minimum 1.5 acres	Т	Usually part of baseball, football, soccer complex in community park or within a school if there is a joint-use agreement.
Soccer		1.7 to 2.1 acres	2	Youth soccer on smaller fields within a community or neighborhood parks or within a school if there is a joint-use agreement.
Softball		1.5 to 2.0 acres	2	Slight difference in dimensions for 16" slow pitch. May also be used for youth baseball.
Multiple Recreation Courts (basketball, volleyball, tennis)	ation all, s)	9,840 sf	Ф	
Golf (18-hole standard)	andard)	Minimum 110 acres	<b>,</b>	18-hole course can accommodate 500-550 people a day. Located in a regional park, within one hour driving time.
Track & Field		Design with football field.	<b>~~~</b>	Design with football field.
Swimming	The Action of the Control of the Con	Varies on size of pool and amenities. Usually 1/2 to 2 acre site.	37	Pools should be for teaching, competitive and recreation purposes and located in a community park or at a school site.

<sup>a</sup> From the National Recreation and Park Association (NRPA), Recreation, Park and Open Space Standards and Guidelines, 1983.

<sup>b</sup> See standards above for basketball, volleyball and tennis. Indoor multiple facilities should be provided within a gymnasium.

<sup>c</sup> One swimming pool could be located indoors.

# Chapter IV OPEN SPACE



#### **CHAPTER IV - OPEN SPACE**

#### Introduction

Open space lands maintain the community's quality of life and strengthen the local economy by augmenting or maintaining tourism. The primary purpose of open space is the protection of an area's amenities such as its natural, cultural and scenic resources. This protection provides community identity and quality by maintaining the physical features which define a community and by providing passive recreation opportunities on protected lands. Within Cambria, open space resources generally include portions of the following: the Santa Rosa Creek corridor, the beach areas (including tidal, shoreline and bluff areas), Monterey pine forests, watersheds, cultural resources and wetland areas.

According to the California Outdoor Recreation Plan - 1988, environmental quality is a major public concern. In recent surveys, nearly 95% of the respondents agreed that protection of the natural environment was important for outdoor recreation, and 86.5% thought that destruction of the natural environment was a significant problem in California. According to the Outdoor Recreation Plan, the public's concern for environmental quality will become stronger as communities continue

to urbanize. The benefits of open space lands are not limited to the protection of environmental quality. By also providing passive recreation, such lands supply opportunities for environmental education and community recreation such as multiuse trails, benches, and viewing platforms. An advantage of such passive activities is that they can be provided close to home within a remaining natural environment.

Open space resources in Cambria currently include CDPR and County beach and bluff areas and the lands administered under the County's transfer of development credit (TDC) program.<sup>11</sup> As noted in Table 6, along Cambria's coast roughly 2 miles of shoreline open space has been protected through County and

Table 6 Cambria's Existi Space Resou	
Facility	Area
Cambria's Shoreline	2 miles
Santa Rosa Creek	25 acres
TDC Program	4 acres

State efforts. The lower portion of Santa Rosa Creek is protected within the Santa Rosa Creek Natural Preserve (approximately 25 acres). As of 1993, the Land Conservancy has obtained approximately 100 lots (roughly 4 acres), with the majority of lots protected in the Fern Canyon area. Future open space lands will largely result from public acquisition and conditions placed on

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Cambria's TDC program is administer by the County of San Luis Obispo. Under the TDC program, approved non-profits may sell development credits. Presently the SLO Land Conservancy is the non-profit selling development credits in Cambria. Under the current system, a person may increase the size of a Cambria residence (beyond the maximum gross structural area designated by the County) if they purchase a TDC. With the TDC money the Conservancy obtains open space lots in two places, i.e., Fern Canyon and the Highway 1 Scenic Corridor.

 $<sup>^{\</sup>rm 12}$  The Santa Rosa Creek Natural Preserve is part of San Simeon State Park.

new development.

GOAL #3. Create and preserve an open space system in Cambria to conserve, restore and enhance local resources and provide passive recreation.

#### 4.1 Resources

#### Objectives:

- A. Protect and enhance Cambria's significant resources and aesthetic qualities to maintain Cambria's character, quality of life, and economic viability.
- B. Provide community education and passive recreation (such as trails, viewing platforms, and benches) in open space areas as long as resources can be maintained in essentially a natural state.

#### **Implementing Policies:**

- 4.1.1 Preserve those significant local resources identified in the plan (such as Monterey pine forests, the Santa Rosa Creek corridor, riparian corridors, and cultural and coastal resources) as open space.
- 4.1.2 Confer with appropriate local, State, and Federal agencies that protect and preserve natural resources when designing open space projects.
- 4.1.3 Provide community education and appreciation of open space areas by providing interpretive displays and other features that explain the importance and history of local resources. Trails and other passive recreation facilities may be developed; however, the majority of the site should be preserved in an essentially natural state.
- 4.1.4 Encourage the County to work with private property owners to:
  - a. Adequately protect Cambria's significant habitat areas, native forest lands, important view corridors, viewsheds, and gateways.
  - b. Protect as open space or parkland blocks of undeveloped land if such land is suitable for open space, parks or recreation. See Appendix D for a list of potential park and/or open space sites.

#### 4.2 Open Space Projects

#### Objective:

C. Provide open space sites that protect significant resources for the appreciation of current and

future populations.

#### Implementing Projects: 13

- 4.2.1 Work with property owners to encourage preservation of the following areas as open space:
  - a. Santa Rosa Creek Corridor. Preserve the Santa Rosa Creek corridor extending from Coast Union High School to Shamel Park. Santa Rosa Creek corridor provides valuable habitat and important scenic value. Open space would be contained within the creek corridor and creek setback. Active park and recreation facilities would generally be located outside the creek setback; passive recreation (such as trails, creek crossings, viewing platforms, and benches) would sporadically be located within the setback area. Protecting the creek corridor as open space would also reduce public safety concerns (flooding hazards).
  - b. <u>Fern Canyon.</u> This area is being protected through a Transfer of Development Credit Program sponsored by the County of San Luis Obispo. This open space resource includes valuable habitat, forest lands, scenic value, and potential trail connections.
  - c. <u>Pine Knolls.</u> Resources in this area are located within Sheffield Canyon. This site provides valuable habitat, forest lands, scenic value, and the potential for trails.
  - d. East-West Ranch. This area includes:
    - 1. The pine forest located in the property's south east and south central sections, which contain forest lands, habitat area and potential trail connections; and
    - 2. The ocean frontage, forming a protected bluff area suitable for pedestrian trails and a wide open space corridor. Protection of this area is important as an open space corridor to protect marine habitat, and provide a buffer between development and future shoreline erosion.
  - e. <u>Vacant Parcels Adjacent to East-West Ranch.</u> These adjacent vacant parcels, located west of Trenton Drive and east of East-West Ranch should be preserved (as feasible) to provide neighborhood access, protect native forest lands and associated habitat.
  - f. Forested Canyon Between Burton Drive & School House Lane. This site is located near the Santa Lucia Middle School. It contains forest area, habitat and the potential for trails.
  - g. San Simeon Creek Area. This site is located near the community of San Simeon along San Simeon Creek. In this area the CCSD owns approximately 105 acres. The San Simeon site contains valuable habitat as well as park and recreation opportunities.

<sup>&</sup>lt;sup>13</sup> Refer to the Cambria Park, Recreation and Open Space Map for the location of these projects (see page 22).

Through a joint use agreement with the CDPR added habitat preservation could occur as well as the provision of additional recreation opportunities.

- h. CT Ranch Monterey Pine Forest Land. This site is located in the northern portion of Cambria, incorporating the CT Ranch Incorporated lands of Monterey pine forest. This open space resource includes valuable habitat, forest lands, scenic value and potential trail connections.
- i. <u>Strawberry Canyon.</u> This site is located in the Lodge Hill Neighborhood. All or a portion of Strawberry Canyon should be set aside as open space to protect Monterey pine habitat and provide trail access from Burton Drive to Randall Drive and the YMCA Camp.
- j. Ramsey Open Space. This site is located between Highway 1 and Ramsey Drive. Portions of this site have been protected through a Transfer of Development Credit Program sponsored by San Luis Obispo County. Open space in this area would protect Monterey pine habitat, provide a buffer between Highway 1 and adjacent development to the east (visual and noise), and provide a corridor for neighborhood access to the Santa Rosa Creek Trail.

Cambria's Parks, Recreation & Open Space Master Plan

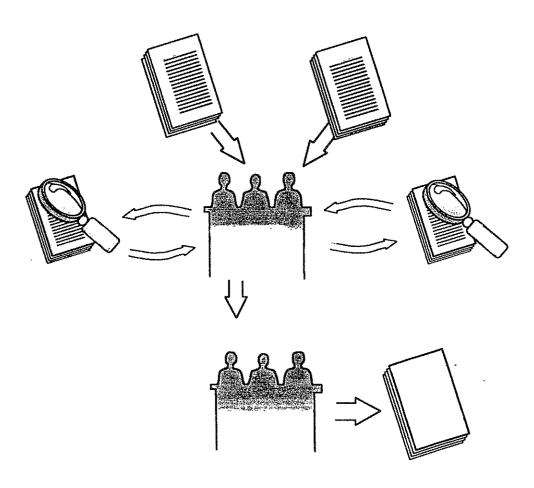
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# Chapter V

## MANAGEMENT



#### CHAPTER V - MANAGEMENT

#### Introduction

This Chapter provides guidelines for the operation, maintenance and management of park, recreation and open space resources. These policies should be used in conjunction with specific resource policies cited elsewhere in this plan.

Goal # 4. Manage park, recreation and open space lands and facilities efficiently while maintaining the quality of District resources and programs.

#### 5.1 Community Involvement

#### Objective:

A. Provide for community involvement, public education and appreciation of park, recreation and open space lands and facilities.

#### **Implementing Policies:**

- 5.1.1 Review park, recreation and open space facilities demand through periodic surveys. Park and open space amenities, recreation programs, and other issues should all be addressed.
- 5.1.2 Land acquired as parkland, recreation and/or open space should be permanently maintained in such uses unless the community at-large supports changes.
- 5.1.3 Develop and implement a public relations program to elicit community involvement, design and support of park, open space and recreation lands and facilities (such as a newsletter; adopt a park programs; local park design competitions; organizing community events in local parks, and similar programs).
- 5.1.4 Maintain a current record of all park, recreation and open space holdings (by fee and easement) for public information and review.

#### 5.2 Planning

#### Objective:

B. Plan for the management, acquisition and development of future park, recreation and open space systems to meet present and future Cambrian needs.

#### Implementing Policies:

- 5.2.1 Maximize opportunities for joint use of public lands and existing public and private facilities, and encourage expansion of recreational opportunities in such areas where it would benefit the community.
- 5.2.2 Establish a stable funding source for park, recreation and open space acquisition and development. Consistent with CCSD Board approval, annually budget funds from this stable funding source to meet the goals of this Master Plan.
- 5.2.3 Utilize this Master Plan as the guide for developing additional park, open space, and recreation facilities/areas.
- 5.2.4 Appoint a permanent CCSD's Park and Recreation Commission to advise in the future management and development of Cambria's park, recreation and open space system. The CCSD staff shall review detailed park, recreation and open space plans and make recommendations to the Parks and Recreation Commission.
- 5.2.5 Prepare management plans or park plans for park, recreation and open space areas. Periodically update these plans to guarantee their consistency with community needs and desires. See Appendix E for plan guidelines.
- 5.2.6 Work with the County and State to obtain park, recreation and open space dedications and easements, and Transfer of Development Credit lands when such lands would benefit the CCSD's park, recreation and open space program.
- 5.2.7 Work with the County to develop a Forest Management District and potentially have the CCSD administer this program as a part of the District's Park, Recreation and Open Space Department.

#### 5.2.8 Encourage the County to:

- a. Adopt appropriate portions of this Master Plan for incorporation in (a) the County's Park and Recreation Element Update, (b) the Agriculture and Open Space Element, (c) the North Coast Area Plan Update, and (d) the Public Facility Fee Ordinance.
- b. Require public or private development to locate new development consistent with this plan unless there is no practicable alternative.
- c Require development adjacent to existing or proposed park, open space and/or recreation facilities to add to rather than detract from such lands and facilities by requiring new development to provide, as appropriate (1) a buffer between proposed development and existing park, recreation and/or open space parcels to minimize conflicts between development and existing facilities; and (2) gates, fences, or other deterrents when such facilities are deemed necessary to discourage prohibited or non-compatible uses from entering park, recreation or open space lands.

d. Designate preserved areas, or portions of preserved areas as: (1) open space if the area is used for resource protection or passive recreation, or (2) parkland if the area will be used for active recreation, a golf course, botanical garden, or similar recreational facility or as an urban park.

#### 5.3 Uses Within Parks & Open Space

#### Objective:

C. Allow uses on park, recreation and open space lands that balance recreation needs with resource protection.

#### **Implementing Policies:**

- 5.3.1 Encourage multiple uses of park and open space lands (such as recreation, open space, watershed, multi-use trails, and wildlife preservation).
- 5.3.2 At select locations, provide public interpretive services that contain information about the property, the CCSD's park, recreation and open space program, and/or the value of specific resources onsite. Provide such facilities to increase public awareness and appreciation of such resources.
- 5.3.3 Lands acquired for open space by the CCSD may consist of the following uses:
  - a. Passive recreation, including open areas, multi-use trails, viewing platforms, swimming, fishing, photography, painting, sketching and other similar day recreation use.
  - b. Other low intensity uses such as interpretation and scientific study of the natural environment; nature conservation; and landscape or wildlife restoration and enhancement programs where the natural landscape has been altered or degraded. Such programs may limit public access.
- 5.3.4 Lands acquired for parks and recreation by the CCSD should provide an adequate mix of recreation and resource protection and may consist of the following uses:
  - a. Active recreation facilities, including centers, play equipment, picnic facilities, sport areas (such as softball, baseball, volleyball, and soccer), play areas, trails and other similar facilities (consistent with the park standards contained in Tables 3 and 4). See pages 11 and 12.
  - b. Open space uses (see 5.3.3 above).

- c. Community gardens, botanic gardens, and nurseries.14
- d. Golf courses within regional parks or as an individual facility.
- 5.3.5 Discourage the construction of roads that are not compatible with park, recreation and/or open space areas.
- 5.3.6 Prohibit the expansion of adjacent private property uses onto park, recreation and/or open space lands unless such an encroachment benefits the public and is consistent with the designation of the land as parks, recreation or open space. All encroachments must be approved by the CCSD's Board of Directors.

#### 5.4 Design, Maintenance and Operation

#### **Objectives:**

- D. Manage and maintain park, recreation and open space lands and facilities in a responsible manner.
- E. Provide adequate safeguards to make park, open space and recreation lands and facilities good neighbors and safe for community use.

#### **Implementing Policies:**

- 5.4.1 Park, recreation and open space lands and facilities should be designed and constructed to:
  - a. Maximize neighborhood compatibility by providing security and privacy to adjoining properties. As feasible and appropriate, buffers should be utilized (such as landscaping or fencing) between park, recreation and open space lands and adjacent development to provide privacy and a physical separation between uses. Impacts, such as facility lighting, should be minimized.
  - b. Provide adequate park, recreation and open space areas and facilities that are accessible to different age groups and abilities.
  - c. Provide adequate support facilities such as parking, restrooms and staging areas as needed.
- 5.4.2 Maintenance of park, recreation and open space lands the CCSD owns or manages is the responsibility of the CCSD or its designated representative; however, the CCSD may lease park, recreation and/or open space lands to the County or other jurisdictions for maintenance and patrol consistent with CCSD operation and management policies. The CCSD should:

Only public nurseries are allowed that are used for restocking parks, open space and other public areas.

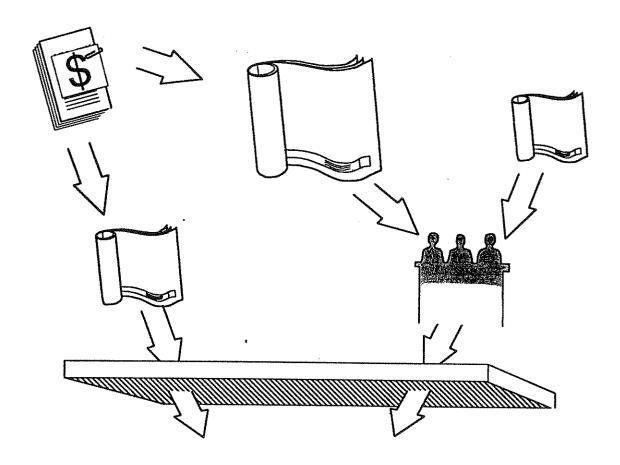
- a. Provide maintenance and monitoring of park, recreation and open space areas at regular intervals.
- b. Devise a program to have some maintenance costs of park, recreation and open space lands paid in part by uses on these lands.
- c. Utilize the assistance of volunteers, private individuals, user groups, organizations, businesses, and schools to help develop, operate, patrol, and maintain park, recreation, trail and open space lands or facilities, and to sponsor educational activities.
- d. Incorporate maintenance techniques which do not impact the scenic quality or resources onsite.
- e. Incorporate maintenance techniques that are compatible with adjacent uses and cost effective.
- f. Encourage new developments which provide public park, recreation or open space areas to clearly define uses and maintenance responsibilities on such lands prior to map or project approval by the County.

#### 5.5 Joint-Use Agreements

- 5.5.1 The CCSD may maintain park, recreation and/or open space lands or facilities for other jurisdictions (State, Federal, or County government) or other property owners if:
  - a. Such lands are located near properties already administered by the CCSD, or the land is planned for community use by this Master Plan;
  - b. The other jurisdiction and CCSD agree to land management policies including issues of public use and access under an agreement; and
  - c. The maintenance and management costs for these lands are borne by the jurisdiction or property holder, or the CCSD determines it is in the best interest of the community to manage these lands and incur a portion or all of the cost of maintenance and management.

# Chapter VI

### **IMPLEMENTATION**



#### CHAPTER VI - IMPLEMENTATION

#### Introduction

There are various methods for developing, protecting and maintaining park, recreation and open space lands and facilities. These options are not alternatives; rather, they are a menu of choices from which the CCSD can choose. Some of the methods presented, such as an assessment district may require voter approval. Others generate revenue (such as facility fees), while others involve developer regulations. Finally, some methods do not require any kind of tax or assessment measure, but rely on private initiative.

The CCSD, similar to many public agencies, has limited money available for park, recreation and open space purchases. The majority of park, open space and recreation lands and facilities have been provided by State and County government. These sources have not provided adequate park, recreation and open space facilities, and even in conjunction with developer incentives and similar programs it is likely adequate facilities will not be provided in the future. To provide a viable park, recreation and open space program, the CCSD must have at least one long-term funding source. This funding source would provide a method for facility acquisition and for the ongoing operation, maintenance and administration of lands and facilities acquired. Such a funding source provides local control and stability to a park, recreation and open space program, enabling the CCSD to act when land and/or facilities become available, and provides the CCSD a means to retain the community's quality of life.

This section establishes guidelines for implementing the CCSD's park, recreation and open space program.

Goal 5: Structure an implementation program for achieving the policies of this master plan through a combination of public and private funds, regulatory processes, and innovative strategies.

#### **6.1 Funding Sources**

#### Objective:

A. Develop a multi-source financing program for park, recreation and open space acquisition and development.

#### **Implementing Policies:**

6.1.1 Utilize an array of funding and acquisition mechanisms as partially enumerated in Table 7 (see page 32).

- 6.1.2 Actively encourage private donations of land and funds by: (1) providing information to landowners regarding the value and techniques for resource conservation; (2) soliciting conservation easements from landowners whose property is designated park, open space, or recreation; and (3) providing landowners and developers with information regarding general tax advantages of donating land to nonprofit organizations and agencies, and the market value of conservation easements.
- 6.1.3 Pursue Federal and State matching funds for park, recreation and open space land or facility acquisitions.
- 6.1.4 Be fiscally conservative in acquiring and managing park, recreation and open space lands and facilities.
- 6.1.5 Pursue long-term source(s) of funding for park, recreation and open space acquisition such as a bond measure, special assessment district(s), or impact or property transfer fees. The text of any ballot measure should specify the percentage of monies that will be: (1) committed to park, recreation and open space acquisition, and (2) allocated for management and maintenance costs of such lands.
- 6.1.6 Only utilize this long-term funding source to preserve and maintain land and water areas that are consistent with the park, recreation and open space definitions provided in this document.
- 6.1.7 Work with the County, State, land trusts and other such organizations to augment the CCSD's options for park, open space and recreation acquisition and preservation. For example, once this Master Plan and a long-term funding source have been adopted, work with the County through joint use agreements to fund park, recreation and open space projects proposed in this Master Plan. Fund projects through joint ventures such as County and District fees, and have community organizations help finance projects through maintenance or monetary donations.
- 6.1.8 Require new development within the CCSD Service Area to provide park, recreation and open space lands or facilities consistent with this Master Plan via County and CCSD development conditions. Conditions placed on new development shall be reasonable and consistent with the nature and extent of such development plans.

#### 6.2 Acquisition Criteria

This section discusses when the CCSD should purchase property (either in fee, development rights, or through easements). The criteria listed below are to help the CCSD determine when park, open space and recreation funds should be used to obtain properties, portions of properties, or recreation facilities and under what priority. To qualify for CCSD purchase (in fee, development rights, or easements), the area or facility considered for purchase should be consistent with the criteria as noted in 6.2.1, 6.2.2 and 6.2.3 below.

#### Objective:

B. Use park, recreation and open space funds to provide priority projects.

#### **Implementing Policies:**

- 6.2.1 To be considered for acquisition a site must have value in one or more of the following categories:
  - a. Valuable natural resources (such as sensitive habitat, unique resources, a creek corridor or similar habitat or resources).
  - b. Important scenic qualities, cultural characteristics, or natural features (such as unusual terrain or locally important geologic attributes).
  - c. Public health and safety concerns which make reasonable development on the property unlikely.<sup>15</sup>
  - d. Good value as a parksite (in terms of location, terrain and acreage).
  - e. Important active or passive recreation opportunities.
  - f. Proximity to land that is already permanently protected as park, recreation and/or open space, or the property is close to land that is likely to be protected in the foreseeable future, thus forming or potentially forming a large area of park, recreation and/or open space lands or facilities.
- 6.2.2 A site that meets one or more of the criteria noted in 6.2.1 above, should have high priority for purchase if it meets one or more of the following criteria, and would be eligible for purchase under item 6.2.3 below:
  - a. Development is currently being proposed which is inconsistent with this Master Plan and negotiations are not likely to result in a consistent project.
  - b. The site has timely or attractive purchase considerations or conditions. For example, local cash contributions or additional land area is available.
  - c. The site represents one of the last sections providing trail, habitat, park or recreation linkage.
  - d. The site is of sufficient size that (1) resources are likely to remain intact even if adjacent properties are developed, (2) site development will not result in degradation of significant

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<sup>&</sup>lt;sup>15</sup> The parcel should be large enough to contribute to Cambria's open space program. The District should not acquire numerous small parcels sporadically located which contain hazards and have no other value.

natural or local resources, and (3) if obtained as a park site, there is adequate land area to provide park facilities consistent with that park type (i.e., neighborhood, community, or regional).

- e. The site's purchase would maximize the effectiveness of acquisition expenditures. For example, providing a combination of important park, recreation and open space areas.
- f. The site will contribute meaningful community or neighborhood park or recreation. For example, feasible larger park or recreation projects should not be foregone for development of small, inconsequential projects (e.g., a mini-park should not be provided in a neighborhood which needs a neighborhood park and has or likely will have land available).
- 6.2.3 A site that meets the criteria noted in 6.2.1 and 6.2.2 above should generally not be acquired by the CCSD as park, open space and/or recreation if:
  - a. The site or a reasonable portion of the site or resource can be obtained in a timely manner as a condition of County, State, or CCSD development approvals or agreements.
  - b. The site's values are primarily scenic, but the property cannot be readily viewed by the general public.
  - c. Adjacent properties are being developed in a way that is likely to significantly diminish the park, recreation or conservation values of the property in question.
  - d. Management of the property will be very costly or management of an easement would be unusually difficult to enforce (such as multiple owners, fencing restrictions, or other considerations).
  - e. The site cannot be acquired with reasonable effort in relation to its value or purpose. One property may be more valuable; however, all time and effort should not be expended on that site if other properties may be more easily obtained.
  - f. The site is developed with facilities or structures that would not be consistent with this plan's definition of park, recreation and/or open space.

#### 6.3 Fee Ownership, Easements or Purchase

This section discusses when the CCSD should obtain fee ownership (either through purchase or dedication) versus easements. These criteria should be utilized when attempting to purchase property or easements as well as when private projects must dedicate property as part of their development conditions.

#### Objective:

C. Use acquisition methods which maximize the CCSD funds available.

#### **Implementing Policies:**

- 6.3.1 Generally obtain fee ownership for:
  - a. Properties that may require or have frequent public access to the site or through the site.
  - b. Lands for which buying the development rights is almost as expensive as obtaining the land in fee.
  - c. Lands which contain delicate habitat requiring monitoring and enforcement.
  - d. Land on which enforcing an easement will be difficult or costly.
- 6.3.2 Generally obtain an easement or development rights:
  - a. For lands on which continuation of the underlying private use is compatible with its designation in the Master Plan and direct management by the CCSD is not required.
  - b. To protect viewsheds or scenic resources that involve little or no public access.
  - c. Where the cost of development rights is substantially less than fee ownership.

#### 6.4 Acquisition Methods and Sources

#### Objective:

D. Utilize a variety of methods to obtain park, recreation and open space lands and facilities.

#### **Implementing Policies:**

6.4.1 Obtain park, recreation and open space lands and facilities by a combination of methods. See Table 7 for a partial list of options.

#### 6.5 Program Administration

Parks and recreation personnel are necessary in order to provide, supervise and coordinate recreation programs; oversee the acquisition of property; develop and maintain Capital Improvements and facilities; and to write and administer grants. In order that successful park, recreation and open space programs can be developed, a minimum funding level is required. The majority, or baseline level, of funding would need to come from a reliable source such as an

PAI	TABLE 7 METHODS TO OBTAIN RK, RECREATION & OPEN SPACE LANDS AND FACILITIES
METHOD	EXAMPLES
DONATIONS & SIMILAR	Donation. In this case a landowner gives all or partial interest in his/her property to another entity (government, non-profit or another landowner).
METHODS	Exchanges. Public agencies or non-profit can exchange developable land for land with high park, recreation or open space value.
	Surplus Property. A government agencies may have surplus property inappropriate for their needs which could be transferred to a park, recreation or open space district for use.
	Transfers (TDCs). Under an established TDC program, an owner of publicly designated land can sell development rights to other landowners whose property can support increased density or square footage.
GRANTS	Fundraising. Money may be provided through foundations, corporations and community efforts.
	State & Federal Grants. State and federal agencies may provide grants or matching funds for park, recreation and open space projects to local agencies.
PUBLIC/ PRIVATE AGREEMENTS	Joint Use Agreement. Is an agreement between two or more agencies to provide facilities or land area. School districts and park agencies commonly form joint use agreements to provide additional recreation areas for community use.
	Joint Public/Private Development. A developer and a government agency may form an agreement to provide a community service. For example, a developer may provide land and/or money for a municipal golf course. Without the developer's involvement the land costs may be too high for a local government to incur. The developer may receive a portion of the facility's revenue as payment for his/her initial investment.
	Special Assessment District. This fee is placed on an area or a community, basically those areas benefiting by new park, recreation and open space projects or facilities.
	Bond Act. In this case a community may borrow money through issuance of bonds. This a common way to provide funds for open space and parks. Bonds are usually approved through referendum on a local or statewide basis.
REGULATION	Exaction. As a condition of obtaining subdivision approval, local government requires developers to pay a fee or dedicate land for parks or open space.
	Environmental Review. As part of the California Environmental Quality Act (CEQA) a developer may be required to protect sensitive resources and provide needed community facilities (such as parkland, new roads, or a fire station).
PURCHASE	Fee Simple. Is outright purchase of full title to land and all rights associated with the land.
	Easement or Development Rights Purchase. In this case a partial interest in property is transferred to an appropriate nonprofit or governmental entity. As ownership changes, the land remains subject to the easement restrictions.
	Bargain Sale. A bargain sale includes part donation (by the property owner) and part fee simple sale. In this case the property is sold at less than fair market value.
	Life Estate. In this case the landowner may donate his/her property during their lifetime but has use of the property until an agreed upon time (such as the end of their lifetime).

Source: Regional Plan Association, the Trust for Public Land, and the National Park Service, Tools and Strategies, Protecting the Landscape and Shaping Growth, New York & Washington, D.C., April 1990.

assessment. After the department was operating for a few years, program fees and other funding sources would take on a larger role in assisting in funding the department's overall operations.

In order to have a successful program it is recommended a full-time Parks & Recreation Director and a half-time Recreation Aid be funded. Additional hourly personnel would be hired to supervise recreational activities as they come under District responsibility. A proposed budget is provided in Table 8. This budget provides a minimum level of funding which includes three primary revenue sources: an annual assessment on improved property, program fees for District-sponsored services and activities, and Public Facilities Fees for land acquisition and park development. These Public Facilities Fees would be in-lieu of County fees or be credited against County fees. The County currently charges the following Public Facilities Fees for Parks and Recreation: Single Family \$1426; Multi-family \$813. These fees are charged on each new residential structure built. As a result, the County should be collecting on average approximately \$95,000 annually from new construction within the CCSD boundaries based on the Growth Management limit of 2.3%.

#### Objective:

 E. Fund necessary program personnel to operate and maintain a Park, Recreation and Open Space Department.

Department.

TOTAL REVENUES \$181,000

Significant annually per residential parcel.

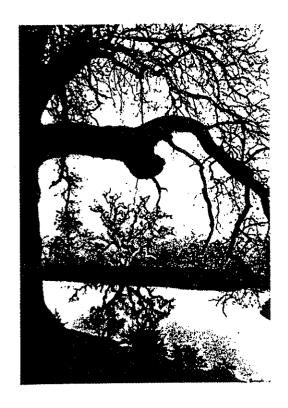
6.5.1 Establish a Parks, Recreation and Open Space Department under the Cambria Community

Pa	TABLE 8 arks, Recreation & Open S Preliminary Budget	pace
Expense	Defined	\$ Amount
Salary &	Employees	\$71,000
Benefits	Commission	\$2,000
Operating	Office Supplies	\$3,000
	Utilities	\$2,500
	Rent	\$4,200
	Insurance	\$10,000
	Maintenance/Repair	\$2,000
	Depart. Operating Expenses	\$15,000
	Travel & Training: Employees	\$500
	Commission	\$500
	Professional Services	\$1,000
	Debt Service - Land Acquisition	\$25,000
	Allocated Overhead	\$20,000
TOTAL OPERAT	ING EXPENSES)	(\$156,700)
Capital Outlay	Computer/Printer	\$3,000
	Office Furniture	\$1,000
	Recreation/ Maintenance Equipment	\$5,000
Capital Improvements	Park Equipment/ Improvements	
	Trails Development	
	Special Projects	\$10,000
TOTAL EXP	ENSES	\$175,700
REVENUES	Assessment	\$120,000*
	Program Fees	\$26,000
	Public Facility Fees	\$35,000
TOTAL REVI	ENUES	\$181,000

#### Services District.

- a. Utilize a Maintenance Assessment District under the Landscaping and Lighting Act of 1972 (S&H Code Section 22500, et seq) to provide baseline funding for the Department.
- b. Establish a \$36 annual assessment per improved parcel to pay for a full-time Parks, Recreation & Open Space Director and half-time Recreational Aid, as well as other operating costs.
- c. Establish a goal of funding a minimum of 20% of the department's operational budget through program fees.
- d. Utilize Public Facilities Fees, grants and property retirement/dedication programs in conjunction with long term financing techniques to fund land acquisition and capital improvements identified in the Master Plan.
- e. Use a Transfer of Development Credit (TDC) program.
- f. Obtain funding from the County of San Luis Obispo to administer a Forest Management District. Funding would include Tree Cutting Permit Fees and Lodge Hill Erosion Control Fees.

# **DEFINITIONS**





#### **DEFINITIONS**

Active recreation means recreation facilities typical of urban parks, including play fields (such as soccer or softball), school fields, a swimming pool, tennis courts, picnic areas (group and individual), golf courses and golf-related facilities, recreation resorts, community centers, and similar facilities.

Bike Corridor is a trail for bicycles provided within a park, open space or along a roadway.

Community Park is a park serving the community or numerous neighborhoods. A community park should be roughly 20 to 30 acres, and should contain developed park area as well as open space areas.

Creek is those waterways designated with a blue line on the USGS 7.5 minute quadrangle maps.

Creek corridor is that area of the creek between physical top of bank on one side of the creek and physical top of bank on the other side of the creek, or the area between the outer edge of the riparian vegetation on one side of the creek to the outer edge of the riparian vegetation on the other side of the creek (whichever is greater).

Creek Setback means the minimum distance development must be located from a creek's physical top of bank or the outer edge of the riparian vegetation (whichever is greater). An adequate creek setback should allow for future natural changes that may occur within the creek corridor and should mitigate flooding concerns.

Cultural Resources consist of prehistoric and historic archaeological deposits; structures of historic or architectural importance; and Native American traditional ceremonial, ethnographic and burial sites.

Gateways shall mean portions of the following roadways which are located within Cambria's Community Services District: Highway 1 (entering from the north and south) and Main Street (entering from the south).

Goals are very broad, often immeasurable statements of purpose.

*Hazards* include landslides and soil creep, flooding, potentially active or active earthquake faults, liquefaction areas, and wildland fires.

*Implementing policy* is a specific statement that guides decision making and suggests actions to be carried out in meeting objectives and accomplishing goals.

Linear Park is a park that is located along natural or built corridors (such as a creek or roadway

respectively). Such parks should provide adequate width to allow resource protection and recreation.

Management Plan is a document prepared by the CCSD or a CCSD designated representative which specifies the care and management of park and open space sites. This plan outlines resources existing on the site, resource preservation, allowed recreational uses, and other similar programs.

*Mini-Park* is a park serving a limited population or specific group (such as tots or senior citizens). A mini-park should be from 0.25 to 1 acre and should provide recreation for the population it is serving (as feasible).

Multi-Use Trails are trails which may be improved for pedestrians, bicyclists and/or equestrians according to appropriateness and need.

Native plants are those plant species present in California before the arrival of European explorers/settlers and indigenous to the Cambria area.

Natural state means similar to how it would be found in nature (not altered appreciably by humans). Providing an essentially natural state would allow (a) some non-native vegetation to remain, and (b) recreation (such as trails and viewing stations). Providing or maintaining an essentially natural state should not significantly impact site resources.

North Coast Planning Area extends from the Monterey/San Luis Obispo County Line on the north, to Point Estero on the south, and inland to the Coastal Zone boundary below the main ridge of the Santa Lucia range. The planning area includes the communities of Cambria and San Simeon Acres and encompasses approximately 92,000 acres (143 square miles).

Objectives are measurable goals, or a specific condition which is an intermediate step in accomplishing a goal. Several objectives may relate to a goal.

Open Space is land or water area which remains in a predominantly natural or undeveloped state. Such lands protect and preserve the community's natural and historical resources, define the urban boundary, and provide visual and physical relief from urban development. Open space may consist of small portions of a parcel or large tracts of land. Such lands may include creeks, marshes, watershed, and floodplains; scenic resources; plant and animal habitat; cultural resources; and passive recreation areas.

Passive Recreation means low-intensity recreational activities such as multi-use trails, bird watching, nature photography, nature study, and similar uses. Facilities may include trails (paved or dirt), individual picnic tables, benches, viewing platforms, interpretive areas, and similar uses depending on the sensitivity of the resource area.

**Physical Top of bank** means where the more eroded creek slope flattens to conform with the terrain not cut by water flow within the creek channel. If the bank is terraced, the highest step is the top of bank, not any intermediate step. In some cases where the top of bank is not apparent,

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the top of bank on the other side of the creek, the extent of riparian vegetation, and the 100-year flood line (among other variables) will determine the top of bank location.

Practicable alternative shall mean (1) the project's basic purpose could still be accomplished either through a redesign or a reduction in massing, scale, or density, or (2) if changes are required to the project's design, scale, or density, reasonable use of the subject property could still occur. Reasonable use of the property in the case of new development may include less development then indicated by zoning. In the case of additional development on an already developed site, reasonable development may mean that no additional development is reasonable considering site constraints and the existing development's scale, design, or density.

Programs are actions which the CCSD intends to take in pursuit of its goals and policies.

**Private Open Space** is open area or park space utilized in a subdivision or private development for the use of onsite residents. Private open space is not considered park space.

**Regional Park** is a park serving several communities. Such parks provide both developed parkland and open space areas, and contain 100 to 200 acres. Regional parks may contain various recreation activities such as trails, sports fields, a golf course, camping and children's play equipment.

**Restoration** is the process of returning a resource to a more natural state. Restoration includes planting vegetation native to that area, removing wildlife barriers, removing debris and trash, removing invasive non-native plant species, and other similar activities. Restoration is not considered development.

Riparian vegetation means vegetation and habitat characteristic of creeks or their edge.

Scenic Resources are resources having high aesthetic qualities, such as hills and mountains; creeks and other wetland resources; areas containing major viewsheds or unique topography; and similar lands or areas.

Sensitive Areas are land or water resources which have significant scenic, cultural, or natural resources, including such resources as creek corridors and wetlands.

Significant means a substantial, or potentially substantial, adverse change in the environment (as defined by the California Environmental Quality Act [CEQA]).

Standards are a measurable rule establishing a level of quality or quantity that must be complied with or satisfied.

Tot Lot is play equipment for young children (typically toddlers).

*Trail Corridor* is a passageway used for alternative transportation. Within Cambria such corridors may be limited to pedestrians, bicycles and/or equestrian users.

Transfer of Development Credit (TDC) is a program that allows a landowner to transfer a property's development potential to another property. Such a program transfers development from a site where development is discouraged to a site where development is encouraged.

Urban Reserve Line (URL) is a San Luis Obispo County line delineating the extent of Cambria urban area (the area where urban development may occur). Cambria's URL encompasses approximately 1,916 acres available for urban land uses.

Urban Services Line (USL) is a line delineating the service area of the Cambria Community Services District (CCSD). Cambria's USL indicates the area to which urban services, particularly water and sewer, should be extended when available.

Wetland means an area where one or more of the following attributes exist:

- 1. At least periodically, in years of normal rainfall, the plants supported by the land are predominantly hydrophytes (thrive only in water or saturated soil).
- 2. The substrate is predominantly undrained hydric soil as defined by the United States Soil Conservation Service.
- 3. The substrate is nonsoil and is at least periodically saturated with water or covered by shallow water at some time during the growing season of each year in years of normal rainfall.

Where less than all three of the attributes specified above exist, delineation of an area as wetland shall be supported by the demonstrable use of wetland area by wetland associated fish and wildlife resources, related biological activity, and wetland habitat values.

## APPENDIX A SURVEY SITES

### **SURVEY SITES**

The CCSD conducted a newspaper survey during the summer of 1992 to obtain community input regarding potential park, recreation and open space projects. The following sites were recommended by members of the public. If the site contains an asterisk, all or a part of this suggestion was included in the Master Plan.

	SURVEY SI	TES	
NEIGHBORHOOD & GENERAL LOCATION	GENERAL AREA	REASON FOR PROTECTION & FACILITIES	In Master Plan
Lodge Hill, northeast corner Malvern & Mills.	2 + lots	Open space. Habitat, brush area for birds, wildlife. Possible trail and bench.	
Lodge Hill, extending from the south side of Mill St. to Ardath.	200' frontage on 2 + lots	Open space. See Above.	
Lodge Hill, southeast corner Malvern & Banbury.	11 lots	Open space or neighborhood park. Protect young pine/toyon forest & open space.	
Lodge Hill, Madison & Orlando	6 lots	Neighborhood park or open space. Protect open space and canyon drainage.	
Lodge Hill, west side of Ardath, Benson to Madison; East side of Ardath, Benson to Ogden; West side of Ardath, north of Benson.	Portions of APNs 23-067-17, 18; 23-068-10; 23-096-25	Open space. Protect forest and open space along Ardath Drive. Forest protection & open space especially old gnarled oak and restore site.	
Lodge Hill, Strawberry Canyon	Enough area for protection and trail.	Open space and trail. Protect native forest and provide public access trail.	*
Lodge Hill, north side of Ardath between Wilcombe and Pierce.	5 lots	Open space or small neighborhood park. Protect the large, old gnarled oak and pines.	
Lodge Hill, area owned by Land Conservancy on Ludlow Avenue.	2 lots	Open space. Protect as much of this old oak area as possible. Possible trail location.	∌લ
Happy Hill, northeast corner of Warwick Street & Brighton.	1 lot	Open space or tiny neighborhood park.	
Between East Village and West Village along Main Street	Frontage in this area for trail.	Pathway or bikeway. Improve or develop a walkway along Main Street between East and West Village that is safe and comfortable for pedestrians.	*
Lodge Hill, northwest corner of Newport & Pierce	3 lots	Neighborhood park or open space. Protect forested area.	
West Village, roughly 110 feet on the north side of Sheffield starting at the east side of the parking lot.	Portion of parcel 022-211-072.	Downtown park in West Village.	
Happy Hill, along south side of Weymouth and north side of Warwick (between Covernty & Ashby).	APN 22-041-05, -14	Neighborhood park or open space. Protect forested area.	
Happy Hill, the corner of Suffolk and Northhampton	2 lots, APN 22-141- 02	Neighborhood park or open space. Provides scenic view over West Village.	

•	SURVEY SI	TES	
NEIGHBORHOOD & GENERAL LOCATION	GENERAL AREA	REASON FOR PROTECTION & FACILITIES	In Master Plan
Lodge Hill, south side of Lyle from Richard to Stuart.	As much as possible	Neighborhood or community park or open space. The area contains magnificent views of the Santa Lucia Mountains.	
East Village, corner of Center Street and Burton Drive.	APN 013-263-007	Develop a East Village Park and visitor center.	×
Lodge Hill to Park Hill, East-West Ranch (Rancho Pacifica/Rancho Santa Rosa)	As much as possible.	Open space. Protect habitat, bluffs, wildflowers, native grasses, and restore forest (especially eastern corner of the ranch). Provide trails (views, forest, and bluff).	*
Lodge Hill, Fern Canyon, Land Conservancy holdings	Protect as much as possible.	Open space. Protect as much natural/native forest as possible. Also provide restoration through reforestation, elimination and reduction of invasive non-natives. Use for trails, nature study, and environmental education.	*
Lodge Hill, southeast side of Burton Drive up to Eton and Schoolhouse. Down to Village Lane.	Protect as much as possible.	Open space. Protect the native forest area. Could provide a safe walkway into East Village.	×
Lodge Hill, triangle block defined by St. James & Wales.	Block 219	Neighborhood park or open space. Protect resources.	
West Village, Pinedorado Grounds	As much as possible.	Provide a grassy area, paths and park benches.	*
Park Hill, between Pembrook and Windsor or area between Santa Rosa Creek and Windsor (waste water treatment plant).	As much as possible.	Provide a pedestrian trail to the bridge.	**
Lodge Hill, Island surrounded by Ellis & Leonard.	Entire island area.	Provide open space or a neighborhood park with a playground.	*
Santa Rosa Creek	Creek bank area (length of town), Mid State Bank Property, area between trailer park and down hill.	Provide park with walking paths, pond, tables and benches.	ж

### APPENDIX B

# EXISTING PARK, RECREATION AND OPEN SPACE LANDS AND FACILITIES (PUBLIC & PRIVATE)

# Cambria's Parks, Recreation & Open Space Master Plan

Jurisdiction Name & Type Of Facility  Cambria Veterans Memorial Corr Community Building, Cam Services District Center Vills					
Veterans Memorial Building, Center	Location	Parcel Size	Events/Recreation	Facilities	Comments
	Corner of Main Street and Cambria Drive in West Village.	1.27 ac.	Events include art shows, exercise classes, health clinics, dances, receptions, music and staged events, and weekly farmer's market (parking lot).	Three various sized meeting rooms, kitchen, stage in main hall, American Legion Club House, restrooms, and parking area.	The facility serves as a community center. Used for recreation and meetings.
San Simeon Creek, Near open space Sim	Near the community of San Simeon, along portions of San Simeon Creek.	105 ac	Open space area and CCSD facilities.	Waste water and potable water facilities.	Open space, parks and recreation could be provided in this area. A joint use agreement with CDPR could increase habitat protection as well as recreation opportunities.
San Luis Obispo Shamel Park, In the County Park Neighbor County Sant Sant Sant	In the Park Hill Neighborhood, at the west end of Windsor Blvd. near Santa Rosa Creek.	6 acres	Swimming, children's play area, group and individual barbecue area, picnic facilities, a play field, and beach/nature walks.	Heated pool, walkways, tables, benches, miscellaneous outbuildings, restrooms, and parking.	The park is currently well developed with a variety of facilities and equipment. A seawall is planned by the County to protect park resources.
Lampton Park, Sour	Southwest corner of Lampton Street and Windsor Blvd. South.	2 acres	Passive recreation, including picnicking, walking, sunning, beach and nature walks, and scenic appreciation.	Stairway to tidepools, walkways, tables, benches, parking and bicycle racks.	The park is primarily developed as a natural area. This site could be part of a trail connection.
Cambria Library, 900 Library VIII	900 Main Street, in the West Village area.	0.17 ac.	Cambria's public library. Books, videos, compact discs and tapes available for the public. Story Time available for young children two days per week.	Library building, parking and bicycle racks.	Its location near other public facilities lends itself to a community center concept.
Sherwood Drive, Acc beach accesses prov Driv	Accesses to the beach are provide along Sherwood Drive at the ends of Wedgewood and Harvey.		Beach access.	Beach access.	
Pinederado 990 Grounds & Light- Vill House Lens, Festival Grounds	990 Main Street, in the West Village Area	0.87 ac	Five day festival during labor day weekend.	False front buildings and historical lighthouse lens display (Piedra Blancas Lighthouse Lens).	This property is owned by the County but leased to the Lion's Club. The Lion's Club and other service groups use this site to raise money for their programs. A joint use agreement with this site could expand community recreation.

Cambria's Parks, Recreation & Open Space Master Plan

	~	ECREAT	K, RECREATION AND OPEN SPACE LANDS AND FACILITIES (PUBLIC & PRIVATE)	ANDS AND FACILITIES	
Name & Type of Facility	Location	Parcel Size	Events/Recreation	Facilities	Comments
Joslyn Adult Recreation Center, adult recreation	950 Main Street, in the West Village area.	0.51 ac	The center offers a variety of recreation through club participation, such as dancing, cards, lawn bowls, garden clubs, meetings, fishing club, golf club, and computer classes.	Lawn bowls, meeting rooms, kitchen facilities, restrooms and parking.	The property is owned by SLO County; however, 1990 additions were built from funds from a local campaign. The facility is maintain by member funding. The center has potential as a community center.
Leffingwell Landing, <sup>13</sup> park	North end of Moonstone Beach Drive, near Highway 1.		Trails, picnicking, barbecues, and benches.	Trails, picnic tables, barbecues, information board, restrooms, a ramp for boat launching and parking.	Hiking trails along blufftops to the north connect to the Moonstone Beach Drive Vista Point. Tidepool and offshore areas are part of the California Sea Otter Game Refuge.
Moonstone Beach Drive, <sup>5</sup> trails	Along Moonstone Beach Drive and the ocean frontage.		Pedestrian trails along the ocean frontage.	Pedestrian trails and benches.	Overlooks Moonstone Beach area. Highly eroded bluffs.
Santa Rosa Creek, <sup>b</sup> open area	South end of Moonstone Beach Drive.	30 ac.	Beach access and scenic appreciation.	Benches, information board, beach access, solar electric restrooms and parking.	
Nottingham Bluffs, <sup>b</sup> open areas	Two locations, one is located at the western end of Plymouth (west of Nottingham Drive). The second is located at the western end of Dorset and Leighton streets (west of Nottingham Drive).	3 ac	Trails and scenic appreciation.	Trails, benches and beach access.	
Santa Rosa Natural Preserve, <sup>b</sup> open space	Portions of Santa Rosa Creek west of Highway 1.	25 ac.	Santa Rosa Natural Rosa Creek west of Preserve, Open space	No recreation facilities.	This area is protected for habitat purposes.

<sup>a</sup> Source: California Coastal Commission, Catifornia Coastal Access Guus

<sup>b</sup> This facility is a day use area and is part of the San Simeon State Park.

Cambria's Parks, Recreation & Open Space Master Plan

	EXE	STING PARK, RI	ECREATI	EXISTING PARK, RECREATION AND OPEN SPACE LANDS AND FACILITIES (PUBLIC & PRIVATE)	ANDS AND FACILITIES	
Jurisdiction	Name & Type of Facility	Location	Parcel Size	Events/Recreation	Facilities	Comments
School District	Cambria Grammar School, school	1350 Main Street, midway between East and West villages.	5 ac.	Indoor and outdoor recreation currently available for school children during school hours. During the summer the facilities are closed and maintenance is performed.	Playfield, hard court, baseball field, aindoor auditorium, boy scouts and girl scouts, after school programs. Special events can be scheduled in the auditorium.	If the grammar school should ever relocate, this site should be considered for a community center. <sup>4</sup> In any case, a jointuse agreement should be pursued.
	Santa Lucia Middle School, school	2850 Schoolhouse Lane.	9.90 ac.	Indoor and outdoor recreation currently available for school children during school hours.	Gym, courts for basketball, tennis, volleyball, field for soccer, softball and football, etc. Barbecue area for school functions.	A joint use agreement should be pursued to augment indoor and outdoor recreation opportunities for the community.
	Coast Union High School, school	2950 Santa Rosa Creek Road	40 ac.	Indoor and outdoor recreation currently available for school children during school hours.	Fields (football and baseball), four lighted tennis courts, gym and handball court.	A joint use agreement should be pursued to augment indoor and outdoor recreation opportunities for the community.
	new elementary school, school	Within the developed area of East-West Ranch. Exact location unknown at this time.		Indoor and outdoor recreation will be provided for school children.		Plans for the school are being pursued at this time. A joint use agreement should be pursued to augment indoor and outdoor recreation opportunities for the community. If possible, the school's recreation facilities should be planned with park facilities in that area.

 $<sup>^{\</sup>circ}$  Not regulation size.  $^{\rm d}$  The grammar school is not considering relocating at this time.

Cambria's Parks, Recreation & Open Space Master Plan

	EXIST	ING PARK, RECRE	ATTON AN (PUBLI	EXISTING PARK, RECREATION AND OPEN SPACE LANDS AND FACILITIES (PUBLIC & PRIVATE)	NDS AND FACILITI	S.S.
Jurisdiction	Name & Type of Facility	Location	Parcel Size	Events/Recreation	Facilities	Comments
Private, Andy Anderson	Andy's Garden, park	Corner of Guildford and Worcester on Park Hill.	0.12 ac.	Landscaping, benches, and lawn area.	Turf area, landscaping and benches.	This is a small neighborhood garden area, privately owned and beautifully maintained by Andy Anderson. Public access is permitted.
Private, City of Coalinga, Huron Parks and Recreation Department	Camp Yeager, visitor camping	Northern end of Ashby, in the Happy Hill Neighborhood.	13.36 ac.	Camping, meeting rooms and various outdoor recreation.	Miscellaneous buildings, meeting rooms, camping facilities (cabins), and outdoor recreation.	Existing and potential facilities and location make this a prime site for a joint-use agreement with CCSD.
Private, YMCA (Camp Ocean Pines)	YMCA, visitor camping	Within Rancho Marino, at southernmost boundary of Cambria.	13 ac.	Camping, meeting rooms, and various outdoor recreation.	Miscellaneous buildings, meeting rooms, camping facilities (cabins), and outdoor recreation (such as an archery range, horseshoe pits, crafts lodge, volleyball and tetherball).	Existing and potential facilities make this a prime site for a joint-use agreement with CCSD.
Private, Cambria Pines Lodge	Cambria Pines Lodge, Lodge	2905 Burton Drive in the Lodge Hill neighborhood.	25 ac.	Swimming, weight lifting, meeting rooms, community gatherings, etc. available to the public for a fee. Trail and stairway available down to Santa Rosa Creek and downtown East Village.	Indoor swimming pool, weight room, grounds, meeting rooms available to the community for a fee.	This site primarily functions as a lodge; however, community recreation is offered through a monthly membership. The Lodge should be considered for a joint use agreement to provide additional indoor recreation.
Private, SLO Land Conservancy (Non-profit)	Open Space Program (TDC)	Primarily in Fern Canyon.	~4 ac.	Open space.	Open space.	The Land Conservancy operates a TDC program. The CCSD should develop their own TDC program or work with the Land Conservancy to provide passive recreation on open space lots managed by the Land Conservancy.

Cambria's Parks, Recreation & Open Space Master Plan

	EXIST	EXISTING PARK, RECREATION AND OPEN SPACE LANDS AND FACILITIES (PUBLIC & PRIVATE)	ON AND	TON AND OPEN SPACE LANI (PUBLIC & PRIVATE)	DS AND FACILITIE	S
Jurisdiction	Name & Type of Facility	Location	Parcel Size	Events/Recreation	Facilities	Comments
Private, Art Beal Foundation	Nit Wit Ridge, private development	881 Hillcrest Drive.	0.61 ac.	Private development	Private development.	This site is a historical landmark. The historical walk through Cambria should include this site.
Private, Catholic Church	Santa Rosa Catholic Church, Church	2353 Main Street.	2.40 ac.	Church activities.	Church facilities.	This site is a historical landmark. The historical walk through Cambria should include this site.
Private, Youth Center	Cambria Youth Center, indoor recreation	870 Main Street.	0.50 ac.	Youth activities including pool, ping pong, basketball, video games, music, monthly dances, and annual trips.	Outdoor cement basketball court, meeting hall and rooms, and kitchen.	Parcel also contains the old Santa Rosa School (now an art gallery).
Private, Gym.	Cambria Athletic Club, indoor recreation	1235 Knollwood Drive	2,500 s.f. <sup>4</sup>	Physical therapy and indoor recreation (gym, weight room, exercise machines, step aerobics, yoga, and stretch classes).	Weights, treadmill, nordic track, rooms for aerobic and other exercise classes.	Recreation is available through lifetime and month to month memberships.

d Represents the facility size.

### APPENDIX C

### SUMMARY AND DESIGN COMPONENTS OF PARK, RECREATION AND OPEN SPACE PROJECTS

Cambria's Parks, Recreation & Open Space Master Plan

And Andreas An			SUMMARY OF PARK PROJECTS	RK PROJECTS	
Park	Map	General Intent		Components	
Name or Type	Id.		Park	Recreation	Open Space
Santa Rosa Creek Parkway	1	A linear park extending from Coast Union High School to Shamel Park along portions of Santa Rosa Creek. This park would be developed in phases.	Primarily that area outside the creek corridor. Provide landscaping for park-like setting as necessary.	Along the linear park provide a multi-use trail. Recreation may include periodic placement of benches, tot lots, viewing stations, and other recreation.	The creek corridor (which includes riparian vegetation) should be protected as open space. Trails, bridges, interpretive displays and viewing stations may periodically encroach into the creek corridor to provide
Coast Union High School Community Park	7	A community park provided adjacent to Coast Union High School. Add additional area for picnic and open play as well as active recreation.	Twenty to thirty acres including school outdoor recreation area. Provide landscaping for park-like setting as necessary. This would be a more active facility park.	In new acreage provide picnic facilities (group and individual), play areas, tot lot and/or play equipment. On new acreage or school site (with joint use agreement) provide additional recreation facilities such as a soccer field, basketball and tennis courts, etc.	community resource appreciation and education, and park and trail access.
Rodeo Grounds Road Community Park	. vi	A community park provided in the vicinity of Rodeo Grounds Road and Highway 1.	Twenty to thirty acres. This park may tend to be more passive. The park should be linked to the Santa Rosa Creek Parkway.	Should include trails, benches, individual and group picnic areas, and some active recreation.	
Neighbor- hood & Mini Parks		Within each neighborhood provide neighborhood or mini-parks (as feasible).	Consistent with the standards contained in this Master Plan.	Consistent with the standards provided in this Master Plan.	Protect significant open space resources allowing limited appropriate passive recreation (such as viewing stations, trails and benches) in these areas (depending on the resource).
A. C.	4	Within the East Village downtown create a mini-park or museum.	Limited park facilities, contain potentially a structure (possibly historic) and passive recreation.	Develop a visitor's map outlining a historic walk through Cambria. Involve local groups.	Open space resources in the downtown area may be included in the historic walk. The history component would be how these resources played a part in Cambria's development.
Cambria Regional Park	5	Provide a regional park within the Cambrian area.	This park should contain approximately 200 acres. The park may be built in phases, with the first phase a community park.	May include such facilities as a golf course, trails, tennis courts, open air theater, environmental center, picnic areas, and play equipment.	See above.
Cambria Municipal Golf Course	39	A golf course should be located within close proximity of the Cambria community.	The golf course may be located in close proximity to the regional park in order for joint use of facilities and infrastructure.	Onsite or municipal services and infrastructure should be readily available. Site considerations should include appropriate terrain and parcel size conducive to a golf course layout.	Protect significant natural resources.
Using the ma	ap identi	fication number indicated, s	Using the map identification number indicated, see the map on page 22 for the project's general location	ject's general location.	

Cambria's Parks, Recreation & Open Space Master Plan

			SUMMARY OF PARK JOINT USE PROJECTS	SE PROJECTS	
Joint Use	Map Id.	Specific Facility		Components	
Agree- ment With:	<b>*</b>		Park	Recreation	Open Space
Schools	9	Coast Union High School	See Coast Union H	See Coast Union High School Community Park on page C-2.	
	7	Santa Lucia Middle School	Provide community utilization of school facilities. As possible, obtain land around the school for a neighborhood park.	Provide active and passive recreation typical of the type of park created. Provide connecting trails as	Provide resource appreciation in passive areas consistent
	8	Cambria Grammar School	Provide community utilization of school facilities. If the school relocates pursue this site as a community park or center.	reasible.	with neighborhood park guidelines.
	6	Future School Facilities	Design a neighborhood or community park as a part of any new school facility and arrange for joint use of school facilities.		
Public or Private	10	Camp Yeager	Provide community utilization as appropriate and if possible a neighborhood park.	See above.	Provide resource appreciation in passive areas as feasible.
Agencies	- Land	YMCA Camp (Camp Ocean Pines)	Provide community utilization as appropriate.	Provide trail connections, active and passive recreation as feasible.	I his may be as simple as a scenic resource viewing area.
	77	State Lands	Provide additional land, support facilities and vegetation as deemed necessary by the community.	Provide trail connections and passive recreation as feasible.	`
	13	County Parks	Provide additional facilities or improvements as deemed necessary by the community.	Provide trail connections, passive and active recreation as deemed necessary by the community in conjunction with County Parks.	
	14	Andy's Garden	Support Andy's efforts to maintain this site as a mini park.	Provide recreation consistent with Andy's goals when they benefit the community. If the park is transferred to the CCSD, provide recreation consistent with neighbor wishes.	
	04	Pacific Pines Homeowner's Association	Consider additional facilities or improvements as deemed necessary by the community in conjunction with the Pacific Pines Neighborhood.	Consider trail connections, passive and active recreation as deemed necessary by the community in conjunction with the Pacific Pines Neighborhood.	
	† ‡	Other Facilities	Consider neighborhood churches and other private or public facilities that may be able to provide park and recreation opportunities. If meaningful park or recreation opportunities can be provided, establish a joint use agreement with such facilities.	churches and other private or public facilities that may be able to provide park and recreation ngful park or recreation opportunities can be provided, establish a joint use agreement with such	
	Toby wom	Mario tron number	listing the mon identification number indicated see the man on made 77 for the monert's general location	maral location	3

Using the map identification number indicated, see the map on page 22 for the project's general location.

# Cambria's Parks, Recreation & Open Space Master Plan

		SUMMARY OF TRAIL PROJECTS	AIL PROJECTS
Trail Name	Map Id. #°	Connecting	Design Comments
Sibley Ranch Trail	15	Sibley Ranch. Lampton Park with the Canyon Trail.	Provide a multi-use trail. Any landscaping along the trail should be native plants.
and the second s		<ol> <li>Shley Lake &amp; Kudge Iral. As a first priority provide a trail connecting the YMCA Camp with Sibley Ranch Lake. Consider extending this trail toward the former Air Force Station and eventually to Highway 1.</li> </ol>	
Santa Rosa Creek Trail	16	Coast Union High School with Shamel Park.	Provide a multi-use trail. The trail should primarily stay outside the Santa Rosa Creek corridor; however, access within the setback may sporadically occur to provide public education, trail access over the corridor, and to utilize existing alterations (such as roadways). This trail should be developed in conjunction with the Santa Rosa Creek Parkway, and should be developed in phases.
Strawberry Canyon Trail	. 71	Randall Drive to Burton Drive through Strawberry Canyon.	Provide a multi-use trail. Any landscaping along the trail should be native plants. The trail may be developed as part of an open space or park corridor.
Ramsey Trail	18	Ramsey Avenue with the Santa Rosa Creek Trail or park in that area.	Provide a multi-use trail located near Highway 1.
Moonstone Beach Trail	19	Highway I and the Santa Rosa Creek Trail.	Provide a multi-use trail along the road right-of-way of Moonstone Beach Drive.
East-West Ranch Trails	20	Neighborhoods (i.e., Park Hill, Marine Terrace and Lodge Hill), proposed parks, open space, and school.	Provide a multi-use trail. Trails may be developed as an open space or park corridor.
North-East Cambria Trail	21	The Leimert Tract and C.T. Ranch with Camp Yeager, northern neighborhoods (i.e., Happy Hill and Pine Knolls), and Bridge Street.	
Valley View Trail	34	Provide a trail connecting Gleason Street to Preston Street.	Provide a multi-use trail.
Santa Lucia Trail	35	Provide a trail connecting Santa Lucia Middle School to the Santa Rosa Creek Trail.	
Cambria Loop Trail	36	Provide a trail connecting Camp Yeager to San Simeon State Park. This trail should include a connection to the Moonstone Beach Trail near the Hamlet Restaurant as well as a connection to CCSD property located along San Simeon Creek.	
Fern Canyon Trail	41	Provide a trail connecting Ardath Drive to Highway 1 and Highway 1 to the East-West Ranch trail near Trenton Drive.	
Pine Street Trail	42	Provide a trail connecting Pine Street to the Santa Rosa Creek Trail.	

<sup>&</sup>lt;sup>a</sup> Using the map identification number indicated, see the map on page 22 for the project's general location.

	William	SUMMARY OF RECREATION PROJECTS	
Recreation Project	Map Id. #°	Augment Recreation Opportunities By:	Intent
Joint Use Agreements	22	Developing cooperative agreements with the school district, the YMCA Camp, Camp Yeager, CDPR, the County, Joslyn Center, Youth Center, former Air Force Station, local utilities, Cambria Pines Lodge and other similar agencies.	Provide community indoor and/or outdoor recreation that benefits the community.
One Large Community	M	As a first priority, upgrading the Veteran's Center and joint-use agreements with other community facilities.	Provide community indoor recreation and cultural facilities.
Center Within Cambria		As a second priority, obtaining existing facilities that have good indoor recreation opportunities.	Facilities should be large enough to accommodate 200 to 300 people, provide adequate indoor recreation space that may also be utilized for events (such as weddings, art shows, and performing arts). Such facilities may also be used to consolidate existing public facilities (such
		As a third priority, obtaining new centrally located facilities for indoor recreation.	as the library and adult education).  Centers should be obtained through community monies, private donations, and similar methods.

<sup>&</sup>lt;sup>a</sup> Using the map identification number indicated, see the map on page 22 for the project's general location.

		SUMMARY OF OPEN SPACE PROJECTS	
Open Space Project Location	Map Id. #*	General Intent	Recreation Component
Santa Rosa Creek Corridor	23	Protect valuable habitat, important scenic values and reduce public safety concerns related to flooding along the Santa Rosa Creek corridor from Coast Union High School to Shamel Park.	Generally located outside the creek setback although the Santa Rosa Creek trail, trail crossings and viewing platforms may sporadically be located within the creek setback area.
Fern Canyon (Under TDC Program)	24	Protect valuable habitat, forest lands, and scenic values.	Passive recreation such as viewing platforms, benches and trail connections.
Pine Knolls (Sheffield Canyon)	25	Protect valuable habitat, forest lands, and scenic value.	
East-West Ranch	26	Forest Lands. Protect forest lands (located in the property's southeast and south central sections) and associated habitat areas.	
	27	Ocean Shoreline & Open Space Corridor. Protect marine habitat, scenic value, and provide an open space buffer between future development and the shore.	Passive recreation such as viewing platforms, benches and trail connections. Some active recreation may be appropriate such as play equipment, etc.
Vacant Parcels Adjacent to East- West Ranch (Located west of Trenton Drive and east of East-West Ranch)	28	Protect native forest lands and associated habitat.	Passive recreation such as viewing platforms, benches and trail connections.
Forested Canyon Between Burton Drive & School House Lane (Near Lucia Middle School)	29	Protect forest area and habitat.	
San Simeon Creek Area	30	Protect the creek corridor and sensitive habitats.	Provide open space, park and recreation in appropriate areas. Form a joint use agreement with CDPR to augment recreation and habitat preservation capabilities.
CT Ranch Incorporated (Forest Lands)	31	Protect native forest lands and associated habitat.	Passive recreation such as viewing platforms, benches and trail connections.
Strawberry Canyon	37	This site is located in the Lodge Hill Neighborhood. All or a portion of Strawberry Canyon should be set aside as open space to protect Monterey pine habitat and provide trail access from Randall Drive to Burton Drive.	
Ramsey Drive Area	38	This site is located between Highway 1 and Ramsey Drive. Portions of this site have been protected through a Transfer of Development Credit Program sponsored by SLO County. Open space in this area would protect Monterey pine habitat, provide a buffer between Highway 1 and adjacent development to the east (visual and noise), and provide a corridor for neighborhood access to the Santa Rosa Creek Trail.	

<sup>&</sup>lt;sup>a</sup> Using the map identification number indicated, see the map on page 22 for the project's general location.

# APPENDIX D POTENTIAL PARK AND/OR OPEN SPACE SITES

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POTENTIAL PARK AND/OR OPEN SPACE SITES	
NEIGHBORHOOD & GENERAL LOCATION	COMMENTS
Lodge Hill, Northwest of the Pineridge/Bradford intersection.	The San Luis Obispo Land Conservancy owns APN 024-273-006 which could serve as the start for a neighborhood minipark or open space. Potential for expansion.
Lodge Hill, section in the middle of the block on the east side of Richard Avenue (between Bradford & Merlyn).	Owner has offered to donate retired parcel APN 024-272-003. Consider as nucleus of neighborhood mini-park/open space site. Potential for expansion.
Lodge Hill, parcel northeast of the Rodman Avenue/Dorking Avenue intersection (on Dorking Avenue).	Owner has offered to donate retired parcel APN 024-031-023. Consider as nucleus of neighborhood mini-park/open space forested habitat. Potential for expansion.
Lodge Hill, parcels located south of Roscoe on Pickwick.	The San Luis Obispo Land Conservancy owns APN 024-301-004. This grassy site could serve as the start for a neighborhood mini-park or open space. Potential for expansion.
Lodge Hill, Ludlow Avenue	The San Luis Obispo Land Conservancy owns APN 023-332-023. This site could serve as the nucleus of a neighborhood mini-oak forest habitat. Potential for expansion.
Lodge Hill, block of land surrounded by Ellis & Leonard	This partially forested lot could serve as a neighborhood mini-park or open space.
Lodge Hill, block of land surrounded by St James & Wales	This lot (# 219) could serve as a neighborhood mini-park or open space.
Lodge Hill, Cowper & Haddon	This lot (a portion of lot 59) could serve as a neighborhood mini-park or open space.
Lodge Hill, north of MacLeod Way	This lot or a portion could serve as a neighborhood mini-park or open space.
Lodge Hill, north end of School House Lane.	This area could serve as a neighborhood mini-park.

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### APPENDIX E

### PARK, RECREATION & OPEN SPACE MASTER PLANS OR MANAGEMENT PLANS

11/21/94 E - 1

### Master Plans and Management Plans

Master Plans or management plans for park, recreation and open space sites should address the following:

- a. Planned recreation facilities and community education that will be provided. Park, recreation and open space master plans should plan for trail linkages and provide for adequate support facilities (such as parking, restrooms and staging areas).
- b. Proposed and existing landscaping. Landscape plans should indicate proposed landscaping, existing landscaping that will remain, and existing landscaping that will be removed. In natural or open space areas primarily native vegetation should be utilized and invasive non-natives should be avoided (such as vinca major and eucalyptus). Landscape plans should emphasize water conservation and limited maintenance. Plantings should soften site alterations.
- c. Resource protection. Park, recreation and open space master plans should address how significant community resources will be protected and/or guidelines for their protection (as necessary). Restoration and public access limitations should be addressed if they are necessary,
- d. Site alterations and public safety concerns. Site alterations would include grading and other changes to the topography. In open space areas, site alterations should be minimal unless they are proposed to restore a site. In addition, park, recreation or open space development or maintenance should not cause or make worse natural hazards (such as erosion, sedimentation, flooding or water pollution).
- e. Law enforcement, fire safety and other public service issues. Responsibilities should be addressed in the master plan or park plan. Policies may be tailored to each area. Fire safety and law enforcement concerns may require (a) closing certain areas to the public during certain times, (b) reducing fuel loads after careful consideration of alternatives, and (c) encouraging property owners living adjacent to park, recreation and open space areas to assist providing some protection.

11/21/94 E - 2

### CAMBRIA'S

# PARKS, RECREATION & OPEN SPACE

### MASTER PLAN



### Prepared for the Cambria Community Services District

Adopted November 21, 1994



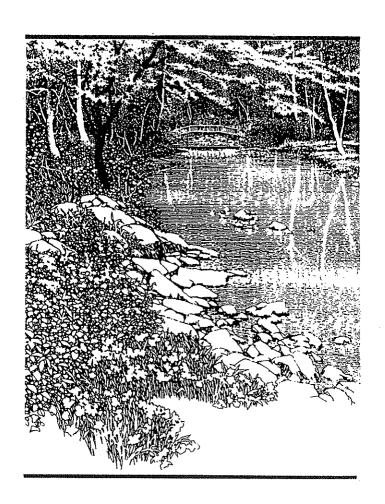
### Chapter I

### **INTRODUCTION**



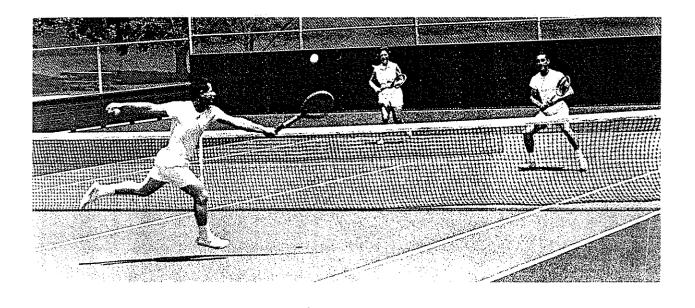
### Chapter II

### PARKS & TRAILS



## Chapter III

### RECREATION



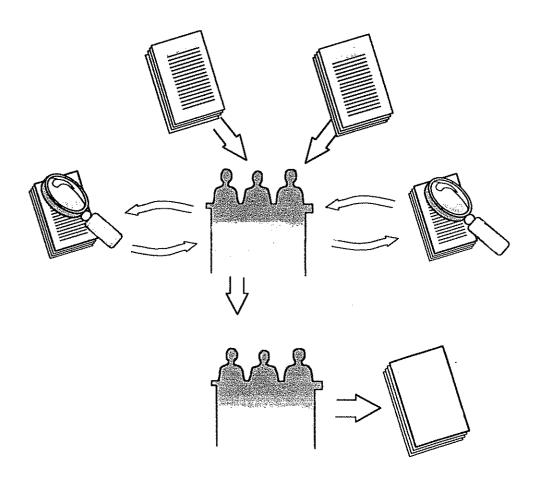
# Chapter IV

### **OPEN SPACE**



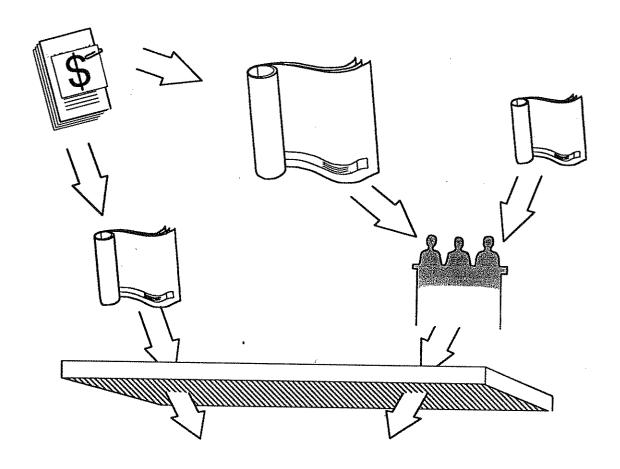
### Chapter V

### **MANAGEMENT**



### Chapter VI

### **IMPLEMENTATION**



### **DEFINITIONS**

